
F/YR17/0304/F

Applicant: Mr R Peggs

**Agent : Mr R Briscoe
Peter Humphrey Associates Ltd**

Land East Of, 88 Sutton Road, Leverington, Cambridgeshire

Erection of 221 dwellings, consisting of , 4 x 3-storey 4-bed, 44 x 2-storey 4-bed, 103 x 2-storey 3-bed, 61 x 2-storey 2-bed, 4 x 2-storey 1-bed, 4 x 1 bed flat and 1 x 2-bed flat with raised level of land to 4.75m AOD (FFL), associated garages, parking and landscaping involving the demolition of existing dwelling and other buildings

Reason for Committee The officer recommendation is contrary to the view of the Parish Council and the number of representations received.

1 EXECUTIVE SUMMARY

This is an application for full planning permission for the development of land at the rear of Sutton Road in Leverington for 221 dwellings. The site currently forms open agricultural land, and was formerly in use for horticultural purposes with extensive greenhouse coverage (since cleared).

Most of the site is located in Flood Zone 3 and is identified in the Strategic Flood Risk assessment as being within an area of danger for most in times of tidal flood (assuming that the existing defences do not exist). After Legal advice and technical discussions with both LLFA and the Environment Agency the site is considered to pass both sequential and exception tests.

The applicant proposes to raise the site levels up to 4.75m AOD from the current levels by approximately 1 metre. After further amendment the proposal achieves good standards of separation distances between existing properties and the nearest proposed dwellings. On the edges of the proposal gardens are designed to slope down to the existing ground levels. Boundary fences are increased to 2.4metre heights where overlooking concerns exist. Nevertheless, some overlooking issues especially of the rearmost garden areas may still occur. However it is not considered that this would be so unacceptable as to refuse this application and therefore accords with Policies LP2 and LP16 of the Fenland Local Plan.

The proposal is not considered to result in highway safety concerns and provides suitable mitigation in respect of this.

The proposal is, overall, not considered to be out of character with the area and represents an appropriate standard of design.

The application has been assessed as unviable. The applicant proposes 10.4% affordable housing on site, and a £500,000 education contribution, both of which are a substantial reduction in policy requirements. The NHS request a contribution for the North Brink surgery is included in addition to the £500,000 education contribution.

Other issues of Open Space provision, Biodiversity and Archaeology are considered to accord with policies. As such on balance the proposal is considered to accord with Policies LP1, LP2, LP3, LP4 ,LP5, LP13, LP15 LP16 and LP18 of the Fenland Local Plan and is therefore recommended for Approval subject to the Signing of an appropriate Section 106 Agreement.

2 SITE DESCRIPTION

- 2.1 This application relates to an 8.73 hectare site of relatively flat land at the rear of properties on the western side of Sutton Road in the Parish of Leverington, but located close to the Parish boundary with Wisbech. The site also abuts mainly terraced houses on River Terrace and Horseshoe Terrace, with four more recently built semi-detached houses on the northern edge of Horseshoe Terrace and the site. There is a bungalow that abuts the existing footpath and the riverbank. More recent housing on Mountbatten Drive and Walsingham Court abuts the overgrown part on the southern boundary
- 2.2 The River Nene lies some 60m to the east of the north-east corner of the application site which is 1.65km to the north-east of Wisbech Town centre and some 700 east of Leverington. The greater part of the site is located within Flood Zone 3 with the exception of two areas located around the northern and south-eastern sections of the site which are in Flood Zone 1 an area at lowest risk of flooding. The Topographic Survey provided indicates that the site is relatively flat laying at approximately 3.5 to 3.7m AOD.
- 2.3 The site was previously used for Horticultural purposes (wide coverage of greenhouses) but is now agricultural for biomass purposes. There was a car repair business within the site accessed off Sutton Road, two large industrial sheds remain on the site at the backs of houses on Sutton Road. The greater part of the site along its northern and eastern boundaries was covered by greenhouses associated with a previous use for horticultural purposes. Aerial photography confirms that these structures were demolished sometime between 2003 and 2007 since when the land appears to have remained open and under grass.
- 2.4 The site is currently predominantly covered by reeds approximately 2 metres high. To the south the site is substantially overgrown. There is a concrete drive that accesses the site and some industrial and ancillary buildings. Sutton Road is raised slightly higher (approx. 0.5 metres plus) and housing to the east slopes slightly lower towards the application site.
- 2.5 There is a grassed public footpath that edges the north eastern part of the site and links the footpath on the riverbank to Sutton Road to the north-west. The path appears to be little used. The river defences include a high bank abutting the river with public access.

3 PROPOSAL

- 3.1 The application is for 221 dwellings with raising of the land level to 4.75m ODM with associated garages, parking and landscaping involving the demolition of an existing dwelling (No 88 Sutton Road) and other buildings. The scheme includes the provision of 23 Affordable dwellings (10.4% of the total dwellings). The proposal includes areas for Sustainable Urban Drainage attenuation (SUDS). There are three TPO trees (large Horse Chestnut, Lime and Oak) on the southern

boundary together with a group of Hawthorne to be retained. These will assist in mitigating the impact of the development on the southern boundary.

3.2 The open space includes the following:

- A central area of open space including public open space and a SUDs basin with an overall area approx. 8,450m².
- Within this, a Locally Equipped Area of Play (LEAP), indicated as a circular area of 415.5m² would be provided
- An area of green space on the south-western edge totalling approx. 5,300m²
- A southern area of public open space totalling approx. 650m²
- An area of greenspace on the eastern edge of 700 m² including a SUD feature
- A green buffer corridor on the northern edge of approx. 5,000m²

Overall, the green space totals approximately 2 hectares in area.

3.3 The application includes alterations to existing footpaths to the north-east of the site (near the river) and a link to the south to Riverside Terrace and across land owned by Fenland District Council linking to Walsingham Court and Mountbatten Drive enabling pedestrian access to Wisbech to the south.

3.4. The site is to be accessed using an existing access point from Sutton Road and would see an adoptable standard road created, enabled by the demolition of the existing dwelling, No. 88 Sutton Road, and the car repair workshop buildings to the rear. Four dwellings are proposed to be accessed via an extension and turning head to Horseshoe Terrace and will form a 'standalone' element to the development.

3.5 Aerial photography confirms that with the exception of the buildings associated with the car workshop (F/YR09/0682/F) all other buildings/structures on the site have been cleared some time ago, and therefore the description of the proposal has been amended to exclude the demolition of the greenhouses.

3.6 The applicant submitted a viability assessment which resulted in the following :

- 10% on-site Affordable Housing;
- £500,000 provided for education,
- an additional £82,018 towards enhancements of the North Brink Surgery,
- the requested highway/footpath improvements detailed by the CCC TA Team (excluding the Burcroft Road Link)

3.7 The application is accompanied by the following supporting documents

- Design and Access Statement
- Sustainability and Design Statement which includes the following measures:
 - Thermal insulation in excess of the building regulations;
 - Fabric first approach to heat retention;
 - Sustainable drainage limiting run-off to greenfield rates, an improvement on the previous greenhouse use;
 - Use of permeable paving on private drives;
 - Rainwater harvesting
 - Landscaping and bat/bird boxes to enhance biodiversity.

- Flood Risk Assessment including a sequential test.
- Surface Water Drainage Strategy which includes:
 - Rainwater harvesting using water butts for roof water run-off to reduce the total volume of water discharged
 - Private and shared driveways to be permeable paving
 - Private plot soakaways for plot drainage
 - Highway soakaways for estate road drainage
 - Private plot soakaways have been designed to accommodate storm flows up to the 1 in 100 year plus climate change (40%) event.
 - Highway soakaways have been designed to accommodate storm flows up to the 1 in 30 year event within a below ground infiltration tank with exceedance up to the 1 in 100 year plus climate change event accommodated within an above ground infiltration basin.
 - Additional storage to accommodate exceedance flows above the 1 in 100 year plus climate change event is provided within the infiltration basin areas.
- A legal opinion regarding Sequential Test and Exceptions Test
- Draft Section 106 Agreement
- Planning Statement
- Transport Assessment
- Tree Survey

3.8 Full plans and associated documents for this application can be found at:

<https://www.fenland.gov.uk/publicaccess/applicationDetails.do?activeTab=documents&keyVal=OIMVPPHE06P00>

4 SITE PLANNING HISTORY

Proposal: Erection of 227 dwellings, consisting of 10 x 3-storey 4-bed, 40 x 2-storey 4-bed, 106 x 2-storey 3-bed, 62 x 2-storey 2-bed, 8 x 2-storey 1-bed, and a 2-bed flat with associated garages, parking and landscaping involving the demolition of existing dwelling,

Reference	Description	Decision	Date
F/YR09/0682/F	Change of use from Nursery (Sui Generis) to General Industrial (B2) and formation of a hardstanding Delamore Limited Sutton Road Leverington Wisbech Cambridg	Granted	24/02/2010
F/95/0060/F	Erection of polythene clad greenhouse Land East Of 88 Sutton Road Leverington Wisbech Cambridge	Granted	06/06/1995
F/91/0657/F	Erection of a glasshouse 88 Sutton Road Leverington Cambridgeshire PE13 5DR	Granted	16/12/1991
F/91/0198/F	Erection of a glasshouse 88 Sutton Road Leverington Cambridgeshire PE13 5DR	Granted	30/07/1991
F/0188/89/O	Residential Development 10.5 Ha. Land Between Sutton Road Horseshoe Terrace Leverington W	Withdrawn	- n/a -
F/0451/86/F	Erection of glasshouse Land between Sutton Road and Horseshoe Terrace Wisbech Land Between Sutton Road And Horseshoe Terrace Wisbech	Granted	17/07/1986
F/0746/84/F	Erection of a front entrance porch 88 Sutton Road Wisbech 88 Sutton Road Wisbech	granted	18/10/1984
F/1022/80/F	Alterations and extension to dwelling 88 Sutton Road Wisbech 88 Sutton Road Wisbech	granted	16/01/1981
F/0313/79/F	Erection of 2 horticultural glasshouses (34 000 sq. ft. each) Sutton Road Wisbech Sutton Road Wisbech	Granted	26/06/1979
F/0623/78/F	Erection of a 34 000 sq. ft. horticultural glasshouse Sutton Road Wisbech Sutton Road Wisbech	Granted	19/09/1978

5 CONSULTATIONS

Environment Agency

- 5.1 The Agency has considered the applicant's Flood Risk Assessment and has no objection to the proposed development subject to conditions being attached but makes the following comments.

Our comments in our letter dated 17 May 2017 are still relevant and we would highlight your Authority's responsibility regarding emergency planning. We note that the elevation drawings do not state the finished floor levels (FFL) but the "Site Layout Plan" 5267/(P)_19 states the FFL will be 4.75mAOD and flood resilience to 500mm. This meets the recommendations in the approved Flood Risk Assessment.

- 5.2 The Agency have provided further comments to clarify how they have reached the conclusions within their first response. These are as follows:

Inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future).

Where development is necessary in such areas, the development should be made safe for its lifetime without increasing flood risk elsewhere.

Flood Zones and Hazard mapping As explained within your Wisbech SFRA, the Flood Map indicates the area at risk of flooding, assuming no flood defences exist, for a flood event with a 0.5% chance of occurring in any year for flooding from the sea, or a 1% chance of occurring for fluvial (river) flooding. It also shows the extent of the Extreme Flood Outline which represents the extent of a flood event with a 0.1% chance of occurring in any year, or the highest recorded historic extent if greater. The Flood Map only indicates the extent and likelihood of flooding from rivers or the sea. The risk levels/occurrence possibilities are banded into Flood Zones.

In locations where there is a tidal flood risk and where raised defences exist, the Environment Agency's Tidal Hazard mapping, (as included as part of the Wisbech SFRA), considers the residual risk, i.e. the consequences if these raised defences were to fail. It is made up of breach hazard mapping and overtopping hazard mapping and shows the hazard, depth and velocity should any of these scenarios occur. The maps only consider the consequences of a breach, they do not make any assumption about the likelihood of a breach occurring. The likelihood of a breach occurring will depend on a number of different factors, including the construction and condition of the defences in the area. A breach is less likely where defences are of a good standard, but a risk of breaching remains. The overtopping hazard maps also take into account defences and are based on computer modelling of simulated overtopping of the tidal defences for specific tidal scenarios. The maps only indicate the consequences of overtopping of the defences and for the future climate change scenarios, it is assumed that defences remain at the 2006 heights.

Floodplain compensation, displacement of floodwater and risk to third parties As this development sits in an area which is subject to tidal flooding and benefits from the presence of raised defences it therefore serves no conveyance function, therefore any land raising does not need to be accompanied by compensatory flood storage. Similarly, if the development and surrounding areas were impacted by the consequences of a failure of the raised defences, the impact of land raising would be negligible due to the infinite volume of water passing into the development area from the sea. If there is a finite volume of water able to pass into a defended area following a failure of the defences, then a new development, by displacing some flood water will increase flood risk to existing properties.

Flood Warning and Evacuation Plan We strongly recommend the owners prepare a Flood Warning and Evacuation plan following discussion with Fenland DC emergency planners. The NPPF places responsibilities on local authorities to consult their Emergency Planners and the Emergency Services with regard to specific emergency planning issues relating to new development. It is not our role to comment on or approve the adequacy of these plans and we would expect local planning authorities, through their Emergency Planners, to formally consider the implication of this in making their decision.

Lead Local Flood Authority

5.3 The County Council as Lead Local Flood Authority commented as follows:

1. Drainage Strategy Report, BHA Consulting, Ref: 2979 Version 3, Dated 22 November 2018 2. Drainage Statement, BHA Consulting, Dated 29 November 2018 (subsequently updated)

Based on these, the Lead Local Flood Authority (LLFA) has no objection in principle to the proposed development. The above documents demonstrate that surface water from the proposed development can be managed using water butts to collect water runoff from dwellings. Private and shared driveways will be constructed by permeable paving and there will be plot soakaways for individual dwellings. The access road will drain to a soakaways which will be proposed for adoption by the Highway Authority.

The LLFA request conditions be attached.

Anglian Water

5.4 No Objection - Has stated that the sewerage system has capacity at present and has recommended an informative regarding Anglian Water's assets close or crossing the site.

North Level IDB

5.5 Objects - having serious reservations about surface water disposal methods which despite the applicant's submission of further data the IDB does not consider the ground to be capable of infiltration thereby questioning the capability of the suds schemes which largely rely on soakaways to work. The IDB has not withdrawn its objection following further drainage data.

Cambridgeshire County Council (CCC) Highways

5.6 Made the following comments:

The layout plan attached details acceptable geometry. The plan should form part of the approved plans list. In respect of the purple dotted line denoting the upgrade or implementation of a public footway: Can a condition be imposed requiring the footpaths to be metalled/constructed to an adoptable standard in accordance with details to be submitted and approved i.e. constructed in accordance with CCC Highway Construction Specification.

The size of the turning head proposed at the top of Horseshoe Terrace should be laid out so it is suitable for a 11.5m refuse collection vehicle to turn. No evidence has been submitted to demonstrate this. That said I am satisfied there is sufficient land to accommodate an acceptable turning head. The turning head carriageway width should be a minimum of 5.0m and a 1.8m wide footway should be included around the turning head perimeter. Further details should be submitted pre-commencement that address the points I have raised.

The LPA should also ensure construction traffic do not use Horseshoe Terrace to access any part of the site during the construction phase. An appropriately worded condition should be imposed that ensures the construction access is via Sutton Road only.

CCC Transport Planning have secured a number of highway improvement schemes. Can the LPA ensure the trigger point for the implementation of these schemes are prior to first occupation on site unless otherwise stated by the TA team. Highways have no highway objections subject to conditions.

CCC Transport Assessment Team

- 5.7 A detailed assessment has been undertaken which is available on the Council's Website. These comments may be summarised as follows:
- 5.8 The Assessment Team when considering applications give regard to the impacts of the development and whether they can be suitably mitigated. CCC has no basis to object to an application if the impacts are not 'severe'. CCC has published guidelines setting out the requirements for the transport evidence, this guidance accords with national best practice and the National Planning Policy Framework. The developer has surveyed the peak time traffic flows which are considered to be acceptable. These surveys covered the A1101 and key junctions into Wisbech. Many junctions were also assessed, including the A1101 / B1169, A1101 / Harecroft Road, A1101 / Aldi north side of Freedom Bridge, Harecroft Road with Chapel Road and Old Market and B198. CCC is satisfied with the evidence and concludes that with a comprehensive mitigation that it has no objection to the development. This mitigation package aims to reduce the vehicle impact from the development by enhancements to the walking and cycling network between the site and Wisbech town centre.
- 5.9 In reply to an objector's own traffic survey the Transport Assessment Team focuses specifically on matters relating to highway capacity. With regards to the objectors comments raised:
- *Traffic on Sutton Road: CCC has considered the proportional impact of vehicles from the development onto Sutton Road and has no basis to object. Note that CCC is not able to mitigate existing problems through planning, and most only consider the specific impacts of the new development.*
 - *Houses on opposite side of road has not been incorporated into the modelling, however traffic growth has been included on the road network which would account for similar schemes to this.*
 - *Local Surveys – these are comprehensive and have been undertaken at peak times and are agreed by CCC.*
 - *Queueing on Leverington Road / Freedom Bridge – The applicant has modelled the north side of Freedom Bridge. The results of this modelling demonstrated that the congestion at Freedom Bridge is largely resulting from the roundabout on the east side of the bridge. A future scheme to improve this roundabout is under consideration in the Wisbech Access Strategy, see further details in the link. <https://www.fenland.gov.uk/wisbechaccess>*
 - *The footway on the eastern side of the A1101 is inadequate. The applicant has agreed to provide a walking and cycling links from the development through to both River Terrace and Walsingham Court, as well as widening the footway on the eastern side of the A1101 between Peatings Lane and the B1169.*

Therefore the TA section has no objection - subject to appropriate mitigation as follows:

- *That pedestrian crossing improvements are made to the junction of Malvern Gardens / Peatings Lane / Horseshoe Terrace as shown in drawing 3341 –*

- 005 – SK Rev A. Details to be approved by CCC, and works to be carried out by the applicant as part of S278;
- *Provision of street lighting columns along West Parade from its junction of Peatings Lane to the existing street lighting. Details to be approved by CCC, and works to be carried out by the applicant as part of S278;*
 - *Provision of a hard surfaced 2m wide footway where needed through the pocket park linking West Parade to the A1101. The park is located to the north of Burcroft Road and is maintained by ECDC and has a surfaced footway in parts;*
 - *Widening of the path on the south side of the A1101 to 2.5m where possible to allow a wider footway shared walking and cycling, between the vehicle entrance to Peckover Primary school and the footway titled Chapel Road located 40m to the east. Details to be approved by CCC, and works to be carried out by the applicant as part of S278;*
 - *Provision of a pedestrian access point on the south side of the development site, with a hard surfaced 2m wide footway through the pocket park linking the south side of the development through to Mountbatten Drive. The park is located to the north of Mountbatten Drive and is maintained by ECDC;*
 - *Widening of the path on the west side of the A1101 to 2.0m to allow for a wider footway between the junctions of Peatings Lane and Dowgate Road. Details to be approved by CCC, and works to be carried out by the applicant as part of S278;*
 - *The sum of £5,000 for the revision to the signal settings and controllers for the signal junctions of A1101 with B1169 and Old Market / South Brink junctions;*
 - *Extension to the length of the right turning bay on the A1101 at its junction with Harecroft Road. Details to be approved by CCC, and works to be carried out by the applicant as part of S278;*
 - *Provision of a Travel Plan via planning condition.*

CCC Definitive Maps Officer

5.10 The Footpath Officer does not object but expects improvements to include:

- Unbound surfacing of the footpath,
- Improved signage and suitable vegetation clearance.
- To offer to dedicate part of, if not the entire, route for a higher status, such as Bridleway status, to allow usage of the route by cyclist in keeping with wider aspirations of the development to encourage travel by non-car modes.

These details should be provided prior to commencement and undertaken prior to first occupation. In addition, given the size of this development, any improvements to the public footpath (No 145/2 which abuts the north-west edge of the development) should also extend along the entire length of the footpath to the A1101, not just the sections within the site boundary.

These improvements outside of the site should be secured by a suitable S106 obligation with a backstop financial contribution of £4,000 made to the County Council in the event that the works are not directly implemented by the developer.

CCC Archaeology

5.11 The Archaeologist has no objection stating the following:

This site has now been subject to a programme of geo-archaeological work as previously recommended. No further on-site work is required but the recommendations made in the evaluation report at section 8.2 should now be implemented in to complete the analysis of the sediments extracted in the borehole survey and thereby to fulfil the archaeological programme for this site. An archaeological condition to secure radiocarbon dating for the channel encountered and to complete the sedimentary analysis should be included as part of any consent awarded to the scheme.

Emergency Planning Officer

5.12 The Emergency Planning Officer does not object but has the following comments:

- The Environment Agency (EA) should fully consider the Strategic Flood Risk Assessment content relating to this proposed area of development which is within Flood Zone 3.
- A Flood Warning and Evacuation Plan is produced by the developers which should then be cascaded to the new homeowners/occupiers. The content of such plan is recommended to include:
 - Site layout plan
 - Detail the types of flooding the development is at risk from, the source of the potential flooding e.g. fluvial flooding, tidal flooding, surface water.
 - Warning systems in place such as EA Floodline, Met Office Warnings.
 - The frequency/probability of flooding, depth and estimated time from warning to onset of flooding.
 - Any flood mitigation measures (hard e.g. raised electrical points and soft e.g. airbrick covers) that will be put into place to mitigate the developments from flooding.
 - The developer should actively encourage owners/occupiers to sign up to the EA Floodline Warning Service and detail how this can be done.

Cambridgeshire Fire and Rescue

5.13 No Objection - Recommends the provision of fire hydrants.

National Health Service

5.14 No Objection - £82,018 contribution requested. The development would give rise to a need for improvements to capacity by way of extension, refurbishment, reconfiguration, or potential relocation at North Brink Practice.

Natural England

5.15 Has no objection and has the following comments:

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the

natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision-making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

Peterborough City Council (PCC) Ecologist

5.16 Following submission of further ecological data the PCC Ecologist has no objection subject to imposition of conditions he commented as follows:

Designated Sites:

The proposed development is located in close proximity to the River Nene County Wildlife Site (CWS); it is therefore important that impacts to this CWS, particularly water pollution, are carefully avoided during both the construction and operational phases of the development.

It is therefore recommended that a Construction Environmental Management Plan (CEMP) is produced, which should include details of measures to ensure impacts to the river are avoided.

The CEMP should be provided by the applicant in advance of commencement of development with details to be secured via a suitably worded condition.

Nesting Birds: The proposal involves the removal of a number of trees and shrubs as well buildings which are likely to support nesting birds during the nesting season (1st March to 31st August). I would therefore recommend that a standard bird nesting Informative be attached should the scheme be approved.

To mitigate the loss of bird nesting habitat I would request that a range of bird nest boxes are installed that cater for different species such as House Sparrow, Starling & Swifts. Details regarding numbers, designs and locations should be provided by the applicant which would be acceptable via a suitably worded condition.

Hedgehogs & Reptiles: Suitable habitat is present within the application site to support hedgehogs which are a UK Biodiversity Action Plan priority species and listed as a Species of Principle Importance under s41 of the NERC Act 2006, and there are also local records of hedgehogs. In addition, the rough grassland and log piles etc. have a low potential to support reptiles. It is therefore recommended that any potential nesting/ refuge areas (such as the piles of rubble/ timber bonfire sites etc. currently on site) be hand-searched by an experienced ecologist prior to site clearance. In addition it is recommended that impenetrable barriers are avoided by allowing adequate gaps to be retained under any new fencing to allow movement of hedgehogs. The above may be secured via a suitably worded condition.

Mammals: Evidence of fox holes/ dens was found within the site. Foxes are protected under the Wild Mammals Act 1996 from crushing, asphyxiation etc. Given that site clearance works may inadvertently cause such suffering, I would recommend that a suitably worded condition is imposed requiring that the site is checked for signs of fox activity immediately prior to any ground works starting by a suitably qualified ecologist. If animals are present (e.g. young are in the tunnel/ fox earth) then the tunnels/ earth should be adequately protected until all animals have safely left the site. If no young are found, then adult foxes may be excluded from the tunnels and prevented from returning.

Recommendation: I have no objection to the proposal subject to the use of appropriate conditions as set out above. I can advise that subject to my recommendations being fully incorporated into the approved scheme the development will in my opinion result in no net loss to biodiversity.

Other protected species present on the site have been considered and mitigation has been built in to the layout which includes a long run at the backs of houses and a tunnel under the access road. The PCC Ecologist considers this proposal to be satisfactory.

Cambridgeshire Constabulary

- 5.17 No Objection - the proposed layout is considered to be acceptable in terms of crime prevention and is supportive of the scheme.

Environmental Health

- 5.18 The Council's Environmental Health team have made the following comments:

The Environmental Health Team note and accept the submitted information and have 'No Objections' to the proposed development in principle, however, due to the previous land use a comprehensive desk study including a conceptual site model is needed, to demonstrate that the site is suitable for its intended end use, and free from ground contamination, this should be provided prior to determination. It should be noted that Environmental Health have had to visit the site in the past due to waste being dumped and burnt upon the site.

Due to the size of the development if permission is granted a construction management plan would be required to prevent noise and dust issues for existing residents during the construction phase.

FDC Housing Strategy

- 5.19 The Housing officer refers to the policy requirement of 25% affordable ideally 70% affordable rent and 30% shared ownership.

CCC Section 106 requirements

- 5.20 Has set out its requirements for contributions as follows:

- Early Years Places: £401,632.
- Primary Education: £1,020,000.
- Secondary Education: £1,418,321.
- Library: £24,008.40.

Section 106 Officer

5.21 Has assessed the applicants Viability Assessment and has the following summary:

- The anticipated revenue for the scheme is £2,016m² which is based on comparable new build evidence and is a realistic expectation of value.
- The adopted Bank interest is 7% which is an acceptable assumption.
- Design & Professional Fees of 8% have been adopted, up to 10% is considered within an acceptable range.
- Build Costs are in accordance with published RICS BCIS values. The build costs have been adopted at £1,050m². These assumptions are in accordance with figures published on BCIS TPI webpages for the types of properties proposed rebased for Fenland.
- A contingency of 2.5% is included which is reasonable for this type of proposal.
- Evidence was provided supporting the External works and infrastructure costs which were benchmarked against similar schemes within Fenland.
- The submission includes 17.5% profit of the Gross Development Value. 20% profit is considered the minimum amount that a developer would usually require for a site of this nature.

It is advised that the development is not therefore viable.

Wisbech Town Council

5.22 The Town Council has made the following comments:

‘Although this planning application does not fall within the parish of Wisbech – it falls within the parish of Leverington – Wisbech Town Council would request, because of the particular location of the site, a Section 106 Planning Obligation requiring the provision of play equipment on the play area located at Burcroft Road/West Parade, Wisbech’.

Leverington Parish Council

5.23 Objects on the following grounds:

- Prime agriculture land
- problems with drainage:
- wildlife concerns (badgers):
- schools places in local schools full
- Problems of parked cars on Horseshoe terrace restricting access,
- Over development of land
- Flooding zones:
- Entrance/Exit on to the A1101 which has accident speed problems - with the extra traffic at peak times will only increase the risk:
- The village is classed as low growth :
- Why are fire service seeking 106 money for fire hydrants?
- The extra HGV vans if this goes ahead down Peatlings Lane West Parade will damage the road surfaces
- Also with a development like this, should have 2 viewings to the parish so they can make comments on the plan on show in village hall.

Representations

Objections

5.24 The application has been publicised 4 times due to alterations to the plans being submitted. Letters of objections have been received from the occupiers of 30 properties, including from a Fenland District Council Director in a personal capacity, referring to the following summarised issues:

- The site is not allocated for development
- Traffic safety issues with high levels of congestion on Sutton Road at present;
- Poor access
- Inadequate footway/cycle links
- Development and loss of agricultural land
- Lack of public transport and retail services resulting in an unsustainable site.
- Density/Over development
- Design/Appearance
- Devaluing property
- Flooding and drainage problems and inadequate sewer capacity.
- No justification for building on Flood Zone 3 land when East Wisbech is on Zone 1
- Reference to an appeal decision in 2013 ref F/YR13/0848/O dismissed as being out of character,
- The strategic allocations are sequentially preferable.
- Insufficient separation distances
- Environmental Concerns
- Local services/schools and health are unable to cope with Leverington Academy being over subscribed
- Loss of view/outlook
- Noise generation and associated anti-social behaviour
- Out of character/not in keep with area
- Overlooking/loss of privacy and loss of light.
- Insufficient parking arrangements
- Loss of trees
- Visual Impact
- Wildlife Concerns
- Would set a precedent
- Insufficient time to comment.
- The disturbance to us residents whilst the building work is being done.
- Insufficient playspace for the children and public open space for such a site,
- Rather than build houses where there is bungalows could bungalows be built instead, so that the original bungalows are not overlooked.
- Inadequate water pressure and street lighting in the area.
- Additional waste and litter.
- A letter refers to the need to retain existing fencing.
- Walking/scooting/cycling access to Leverington school is made dangerous by the absence of a safe crossing between Little Dowgate and Peatlings Lane and lack of footpath on Peatlings Lane. Peatlings Lane to Little Dowgate route is one the suggested local cycling routes so the development should not go ahead unless a safe crossing is added here.

- Peckover school has more capacity and is more likely for children to go there, but there is not a safe route to access this either. Children walking to school via Horseshoe Terrace could have to walk in the road because the pavements are very narrow and often blocked by cars.
- 5.25 A detailed representation regarding schools and infrastructure states:
- *Leverington Primary only has room for one more pupil and Peckover 59. Will this development of 221 homes and the others in the area (10 homes on The Chase, 33 on west of Sutton Road and 35 in Leverington) have fewer than 60 primary age children living between them or will they have to be driven to Gorefield, adding to the cars on the road?*
 - *The dentists are stretched to capacity and therefore with more residents wishing to use these facilities I cannot see how this will be possible. Public transport is limited and there are no local shops for residents. Pathways are poor and there are no safe places to cross.*
 - *Furthermore there is additional planning for 33 houses off Sutton Road. If this also gets the go ahead then this increases the number of vehicles by an additional 66 to at least 500. Our infrastructure and amenities just cannot cope.*
- 5.26 A further letter of objection was received largely about highway implications the full details are available on the website. The County Transport Assessment Team replied in detail (see below in Consultee reply section).
- 5.27 Objections were received regarding the number of houses served off Horseshoe Terrace. However, the applicant has now submitted an amended layout reducing this to 4 and providing an improved turning head to the cul-de-sac. Concern is raised regarding the use of Horseshoe Terrace by construction vehicles.

Support

- 5.28 14 letters of support have been received, referring to the following:
- Working in the construction business for over 30 years I think it is a great scheme for the town, bringing much needed employment and houses. It will also deliver much needed affordable dwellings.
 - Good location for quality sustainable housing.
 - More housing is required to allow economic growth and regeneration in the area.
 - Good layout.
 - Good use of a brownfield site.
 - Meets housing needs.
 - Proposed housing mix is attractive to a variety of buyers.
- 5.29 A further consultation exercise was undertaken on 14 January in respect of the latest detailed plans showing relationships with nearby properties. Any additional representations received as a result of this will be reported to Members by way of an update report.

6 STATUTORY DUTY

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014).

7 POLICY FRAMEWORK

National Planning Policy Framework (NPPF)

Paragraph 2 and 47: Planning law requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise;

Paragraphs 10 & 11: Presumption in favour of sustainable development.

Paragraph 34: Development Contributions

Paragraphs 54 -57: Planning Conditions and Obligations

Paragraphs 59-72: Delivering a sufficient supply of homes

Paragraphs 73-76: Maintaining Supply and Delivery

Paragraph 77: Housing in rural areas

Paragraph 102: Promoting sustainable transport

Paragraph 108-111: Considering development proposals (Transport)

Paragraphs 122: Achieving appropriate densities

Paragraph 127: Achieving well designed places.

Paragraphs 155-165: Flood Risk

Paragraph 170: Conserving the Natural Environment

Paragraph 175: Biodiversity

National Planning Practice Guidance (NPPG)

Design

Flood Risk and Coastal Change

Health and Well Being

Rural Housing.

Fenland Local Plan 2014

LP1: A presumption in favour of sustainable development;

LP2: Facilitating health and wellbeing of Fenland residents

LP3: Spatial strategy, the settlement hierarchy and the countryside;

LP4: Housing;

LP8 Wisbech

LP12: Rural areas development policy;

LP13 Supporting and managing the impact of a growing district.

LP14: Responding to climate change and managing the risk of flooding in Fenland;

LP15: Facilitating the creation of a more sustainable transport network in Fenland;

LP16: Delivering and protecting high quality environments across the District;

LP17: Community safety;

LP19: The natural environment.

SPD's

Delivering and Protecting High Quality Environments in Fenland (July 2014)

Cambridgeshire Flood and Water Supplementary Planning Document
(December 2016)

Fenland District Council – Draft approach to the Sequential Test for housing (in the report to Plans Committee in February 2018).

8 KEY ISSUES

- **Principle of Development**
- **Character of the Area**
- **Impact on residential Amenity**
- **Flood Risk**
- **Infrastructure Contributions.**
- **Affordable Housing**

9 ASSESSMENT

Principle of Development

- 9.1 The application site falls within Leverington Parish, however physically the site has a closer relationship with the town of Wisbech, forming part of the physical continuation of Wisbech and being located approximately 0.75km from Leverington village itself.
- 9.2 In policy terms the proposal requires to be assessed against Policy LP4 of the Local Plan. Policy LP4 Part B states that for small scale housing proposals (under 250 dwellings) on the edge of market towns Policy LP16 is applicable. Notwithstanding the site being within the Parish boundary of Leverington, in terms of sustainability the site is approximately 1.5km from Asda in Wisbech and similarly Peckover/Leverington Primary Schools. This is beyond preferable walking distances. Also Public Transport appears limited and runs through Leverington itself and appears to avoid Sutton Road. However, recent appeal decisions received have given limited weight to such concerns in the context of the 2018 NPPF, in essence giving weight to the level of nearby service provision rather than the connectivity to this. Furthermore, the site was previously covered in a number of structures and retains an element of non-conforming employment buildings within the site. It has existing housing abutting on three sides (west/south and eastern) and is clearly set amongst the urban area edge of Wisbech where growth is welcomed by LP3 and as such is considered sustainable.
- 9.3 A development of 4 dwellings on a site east of 50-52a Sutton Road was refused permission and subject to an appeal. (ref F/YR/13/0848/O). The site is immediately adjacent the current application site for 221 units and backed on to existing development at Oxburgh Close. The Inspector determined the appeal with the Local Plan Inspector's report in mind. The Inspector considered the site was in a Leverington location rather than an urban edge of Wisbech one, given that he assessed the proposal under the terms of Policy LP12 rather than just LP16. Officers consider that this was an incorrect interpretation of policy and, indeed, the location of the site and its relationship with its surroundings. Consequently, it is considered that this appeal decision should carry relatively limited weight in the consideration of the current application
- 9.4 Policy LP16 seeks to ensure that new development makes a positive contribution to the local distinctiveness and character of the area, enhances its local setting, responds to and improves the character of the local built environment, provides resilience to climate change, reinforces local identity and does not adversely impact, either in design or scale terms, on the street scene, settlement pattern or the landscape character of the area (part (d)).

- 9.5 Given the location of the site behind the built form of residential properties along Sutton Road and its predominant open and rural character, the impact of the development on the open countryside needs to be considered.
- 9.6 The Planning Statement accompanying the application states that the site is a brownfield site, located at the edge of the town. This information is contradicted by statements in the submitted Surface Water Drainage Report and the FRA which state that the site is in agricultural use. The NPPF encourages the re-use of previously developed or brownfield land in preference to greenfield sites to meet development needs.
- 9.7 The NPPF defines previously developed land as, *“Land which is or was occupied by a permanent structure, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed) and any associated fixed surface infrastructure.”* This definition excludes, amongst other things, land that is or has been occupied by agricultural or forestry buildings. The definition of agriculture in section 336(1) of the 1990 Act includes horticulture. For this reason the application site as a whole is not classified as previously developed or brownfield land, despite its history, although it is accepted that a small section of the site is in use as a car workshop (F/YR09/0682/F). Nevertheless given the history of the site, it may be unlikely for a Local Planning Authority in considering redevelopment of the site as greenhouses to oppose reinstatement should such a proposal occur. Therefore the planning history remains of some relevance.
- 9.8 Policy LP3 classifies Wisbech as a Primary Market Town where the majority of Fenland’s development is expected to occur. Policy LP4 sets an approximate target for Wisbech of 3,000 dwellings. Policy LP8 addresses urban extensions to Wisbech, and identifies broad locations for growth as well as a strategic allocation. Broad concept plans required for these allocations have been approved to the south and east of Wisbech, albeit no housing proposals have yet been significantly progressed (ie. to application).
- 9.9 The revised NPPF (July 2018) emphasises the new requirement for Local Planning Authorities to demonstrate and monitor the delivery of development. As Wisbech is intended to provide approximately 28% of Fenland’s growth, and, as yet, no units have been delivered from sites within the Local Plan it is considered that windfall sites in Wisbech are to be welcomed subject to compliance with policies.
- 9.10 This application is submitted as a full application with a draft Section 106 agreement attached. It has undergone a viability assessment and includes 23 affordable units (10.4% provision), with it is understood a Registered Social Landlord will be able to progress to provision. The delivery of affordable dwellings has been difficult to achieve in recent years in Fenland. It is unusual to apply for developments of this scale in a detailed format, with many applicants seeking to achieve the principle of permission via outline applications. It is considered that the application seeks to demonstrate a willingness to deliver the development. Given the recent emphasis of the NPPF on delivery and monitoring, it is considered that the apparent deliverability should be balanced against the principle of developing on agricultural land and any adjudged harm to the open countryside (see below).
- 9.11 The application seeks full planning permission; massing and height are therefore important considerations for the detailed design stage in respect of this site because of the flood risk issue and the requirement for raising land / finished floor

levels which will have implications for the appearance and impact of the proposed development in relation to some existing adjacent residential development. Therefore a key consideration of both visual appearance and impact on neighbouring residential amenity is considered below.

Character of the Area and design

- 9.12 Policy LP12 considers the impact of development on rural areas (in villages) and Policy LP16 considers the impact of all developments on the character of the area.
- 9.13 In assessing this impact, firstly, the existing character around the site needs to be considered. To the north of the site are some commercial buildings that include a petrol station, tyre depot/garage, and a Static Caravan site. This provides a development area approximately 175 metres deep when measured from Sutton Road. There is agricultural land to the rear of the caravan park that will remain as a green edge. Proposed housing on the northern edge will face the original farm buildings which includes small areas of farmland. To the east is the public footpath and remaining agricultural land that abuts the river.
- 9.14 As the proposals are predominantly located to the rear of housing on Sutton Road the visual impact on the main passing public highway is unlikely to be extremely negative (other than the raising of land levels, considered in detail below). However, as Sutton Road itself is set at a similar level to the proposed ground levels, and as most properties are of substantial two-storey heights (apart from the last four which are bungalows), the wider impact on Sutton Road should not be significant. The properties fronting the open countryside to the north will have a significant presence, although there is to be a tree belt on the edge which in time should assist in reducing the visual impact.
- 9.15 The proposed development of what is currently green space is likely to be predominantly visible from the backs of houses abutting the site and from the public footpath that abuts part of the site linking Horseshoe Terrace to Sutton Road north of the site. The applicant has amended the layout so that houses proposed near the river are orientated to face the footpath/river. The development of a large area of agricultural fields will inevitably change the character of the area. However, the harm to receptors on publicly accessible locations is considered only moderate and not unduly significant. The development will result in a new edge to the urban area of this part of Wisbech. Given the new boundary falls well short of the commercial buildings on Sutton Road, this new urban edge is not considered by itself to represent a substantial reason on which to refuse this application.
- 9.16 The previous appeal decision to the south-west of the site identified an adverse impact on the rural character of the area. Clearly at that time the current application site would have remained as horticultural land and consequently there would have been a wider visual impact. It is considered that the current application should be treated as an extension to the built form Wisbech and that the issue which needs to be considered is the impact on the wider countryside to the north. It is considered that the development of this site would not result in wider, unacceptable harm to the countryside.
- 9.17 The proposed design of the layout which includes a central area of open space which has housing facing on all sides (with enhanced design detailing) with play facilities, footpath links and enhancements, and the amended units that now face the river and the footpath, are considered to represent good design. The scheme provides approximately 22% of green space which would accords with Appendix B

of the Fenland Local Plan. However as two areas include SUDs attenuation areas which require accommodation of large amounts of water at times of high rainfall, their final design is likely to result in inaccessible areas which may be deep in section. With the northern buffer area also being inaccessible, it is unlikely to be usable as public open space. Therefore the actual provision falls short of policy requirements and does not therefore accord with Policy LP13. Nevertheless given the unviable status of the development, the degree of under-provision considered with the sustainable purposes (i.e. SUDs, Landscape mitigation, tree-planting on the edge of the countryside and wildlife protection) it is considered that by itself this under-provision would not form a substantive reason to refuse this application.

Notwithstanding the applicant's intention to provide the LEAP via the 106 agreement, it is considered that a more robust control would be in the form of a planning condition seeking submission of the detailed design of the LEAP to include details of surfacing and play equipment within 12 months of the commencement of development, and provision of the LEAP itself within 3 years following commencement of development (after approximately 100 dwellings). The LEAP and all areas of green space will be required to be maintained by a Private Management Company. Consideration of accessibility to maintenance needs to be given to the northern landscape buffer given its narrow width and tree planting being sandwiched between the public footpath and residential boundaries.

- 9.18 The design of the units at the proposed single point of access have included some material enhancements as suggested by officers. Nevertheless as effectively a cul-de-sac development serving over 200 houses it provides limited permeability or vehicular connectivity to the highway network. As an access to such a large development the somewhat restrained character is unlikely to provide a sense of arrival.
- 9.19 Nevertheless the development results in numerous perimeter blocks resulting in defensible space and good natural surveillance which are encouraged in terms of designing out crime. The layout has included some private drives which enables contrasting materials and variety in form. Some house-types include design features of interest. However, there are runs of properties (the more compact houses) that provide a more standard approach and with adjoining parking areas of minimum widths which may lead to pressures of on-street parking. Officers requested further design enhancements on numbers of key dwellings in order to provide improved legibility (many modern estates can suffer from repetitive designs resulting in a lack of a sense of place). However, if the application is permitted, and notwithstanding the drawings submitted, a condition is attached identifying the landmark houses in question, requiring further design features be submitted and approved. The layout includes 2 pairs of semi-detached houses at the end of Horseshoe Terrace; these units will abut 4 more recently built houses. This is considered to be in keeping with this part of the street scene.
- 9.20 Overall the proposal is a modern housing estate layout with both good and not so good design features. It includes a variety of accommodation including affordable housing. There are little identifiable vernacular styles of housing nearby and therefore the impact of the development is unlikely to appear significantly out of keeping with the character of the area. The raised levels will result in some views of properties raised by a metre, however the river defences are raised providing a buffer on views in that area. Views from the south-east, south, south-west and mostly from the west will be mitigated by existing housing. Overall the proposal is not considered to result in significant harm to the character of the area and therefore complies with Policy LP16(d).

Impact on residential Amenity

9.21 Policies LP2 and LP16(e) addresses concern of impact upon neighbouring residential amenity. The key concerns relate to the impact of the rear outlook on the privacy of existing residents that abut the site. The site abuts properties on Horseshoe Terrace, Riverside Terrace, Mountbatten Drive and Sutton Road.

Existing Houses – To Proposed Plot	Rear Garden lengths	Separation to nearest house (rear façades)
<i>Horseshoe Terrace</i> No 33 – Plot 69	12.5m	24.5m
No.s 9-12 – Plot No 56	8 metres	23.5m (Flat has single aspect, roof-lights only)
<i>River Terrace</i> No's 13 to15 – Plot 56 No's 1 to 10 – Plots 50 to 55	Side Gable faces rear of River Terrace, no windows. 13 metres	17metres to 5metre high eaves, 3 metres from garden fence. 30 metres(see section Y)
<i>Mountbatten Drive</i> 41 and 43 – Plots 28 to 29	15 metres	23.5m but does not directly face bungalows. (See section 'V')
<i>Sutton Road</i> No 76 – Plot 11 No 82 – Plot 6 and 7 No 84 – Plot 5 No 86 – Plot 2 No 90 – Plot 183 94/96 – Plot 184 98/100 Bungalows- Plot 187	Side Gable Façade 7 metres from garden boundary 13m 11.5m Rear façade faces side of No 86; it has 9metre long rear garden and 2.4 metre high fence. It has obscure glazed fixed windows/ roof light, therefore no overlooking. Side hipped gable, no overlooking, approx 7 metres to garden boundary 10metre rear garden 11metre rear garden	34 metres 37.5m 35.5m 30 metres approx. rear to side separation. 35m separation (See section z) 33metre separation

102/104 Bungalows – Plots 188/189	10.5metre rear garden, 11metres to garden boundary.	35 metres separation (some conservatory extensions/sheds will be nearer.)
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9.22 The above table details properties that are closest to proposed dwellings. The site is to be raised to provide finished floor levels of 4.75metres AOD as required by the Environment Agency regarding flood risk. Properties on Sutton Road appear to have floor levels approximately at 4.25m AOD and rear gardens are lower still, in some cases by approximately 1 to 1.25 metres. However, proposed separation distances are substantial, particularly from the existing houses (minus any rear extensions). There are 4 bungalows in the north-western corner which will have back to back aspects with two-storey houses. After discussions with officers the plots that face the bungalows have been re-positioned between 1 and 3 metres further away by reducing the front gardens to these plots.

9.23 Fenland has no separation standards, however good practice generally supports separation of 20 to 21 metres on flat sites of rear to rear 2-storey to 2-storey properties (therefore accepting 10 metre rear gardens). In this layout, apart from Plot 57, a flat with no rear aspect, all properties achieve this standard. It is considered that the separations between rear facades are acceptable.

9.24 There is likely to be some overlooking of the furthest most (from the dwelling) areas of rear gardens due to the drop in ground levels. The applicant is proposing to provide 2.4 metre high rear fences in such circumstances. On the edges of the development gardens are designed to slope down to the existing ground levels. The worst juxtaposition is considered to be Plots 188/189 and Nos. 102/104 Sutton Road with rear gardens of only 9.5metres together with the ecological passageway totalling 11 metres to the neighbours' boundary. But ground levels in the gardens are lower with the result being that there will be some overlooking of the rear gardens in the worst cases from first floor windows. However, weight given to the impact of some overlooking of the rearmost elements of gardens, compared for example to patios alongside rear facades, is questionable, and therefore on balance whilst some overlooking will exist it is not considered the degree of harm to amenity is bad enough to warrant refusing the scheme. In most circumstances the surrounding properties have substantial rear gardens. It is therefore concluded that in this instance the likely degree of harm experienced is not a reason on which to refuse this application and therefore accords with Policies LP2 and LP16 of the Fenland Local Plan.

Flood Risk

9.25 The site is close to the tidal River Nene with the larger part located within Flood Zone 3 of the Environment Agency Flood Zone Maps. The application has been accompanied by a Flood Risk Assessment which has been considered by the Environment Agency which has no objections. Anglian Water and the Lead Local Flood Authority have no objections either. North Level IDB has expressed "serious reservations" regarding surface water disposal methods.

9.26 As a matter of principle, as part of the site lies in an area of high flood risk, in-line with the NPPF, NPPG, LP14 (Part B) of the FLP and the Cambridgeshire Flood and Water Supplementary Planning Document (December 2016) the application of the sequential test is required to identify whether more suitable sites in areas of lower risk are available for the development. Policy provisions relating to flood risk make it clear that all development proposals should adopt a sequential approach,

and that development in areas known to be at risk from flooding will only be permitted subject to, amongst other criteria, the successful completion of a sequential test, an exception test, and suitable demonstration of the development meeting an identified need.

9.27 The aim of the sequential test is to steer development to areas with the lowest probability of flooding first, rather than relying on existing or improvements to flood defences or other mitigation measures.

9.28 The site is largely within Flood Zone 3 an area considered to be at highest risk of flooding. It is also identified in the Council's Strategic Flood Risk Assessment to be an area considered to be a danger to most (the second worst level of risk). Being considered to be on the edge of Wisbech the area of search is that of Wisbech only, in line with the protocol endorsed by Full Council on 17th May 2018. The applicant's sequential test (which was District wide) therefore need only address Wisbech. The proposal is for 221 houses (a 9.4 hectare site). Therefore to fail the sequential test a site, or combination of sites, need to be identified in Wisbech that are sequentially preferable and which are 'reasonably available'. Advice regarding criteria for reasonably available sites is contained within the Flood and Water SPD adopted by Fenland December 2016. This includes the following:

- Local Plan Allocations;
- Sites with Planning Permission;
- Five Year Land Supply/Annual Monitoring Reports
- Housing and Economic Land Availability
- Local property agents listings
- Historic Windfall rates.

9.29 In this instance the applicant has undertaken a sequential test that seeks to demonstrate no sequentially preferable sites are reasonably available. Of critical importance are the Strategic Allocations and Broad Locations for Growth included in the Fenland Local Plan for Wisbech. These together seek to provide over 2,000 dwellings for Wisbech. Following the submission of Legal Advice in which a view was given that the Council was misdirected in its approach, the Council sought its own advice which concluded that the Broad Locations for Growth, due to their imprecise nature, could not claim to have undergone sequential testing and do not therefore carry the weight of being a site allocation. These sites should therefore be excluded from the sequential test as being automatically sequentially preferable.

9.30 There are currently no sites for sale with planning permission capable of meeting 220 dwellings in Wisbech. However, there is the Wisbech East Strategic Allocation. This is precise in nature and has been progressed as a Broad concept Plan approved by Planning Committee in May 2018, and could meet the needs of 220 houses proposed by this development. However, it is the view of Officers that given that delivery of growth in Wisbech has not yet resulted in commencement of major development sites, there remains some need for windfall sites within Wisbech. As no residential planning applications within either the Broad Locations for Growth or the Strategic Allocation have yet been received, it is considered that there are no sequentially preferable sites reasonably available at this time to meet the development of 221 houses. Therefore, in this instance the sequential test is considered passed.

9.31 The Environment Agency has verified that it has considered the details of the Strategic Flood Risk Assessment and the status of the site as 'danger for most'.

The Agency also confirmed it is aware of the raising of the land levels and does not consider that flood displacement would necessarily be an issue. Should the flood defences fail the impact of raising the land levels would be negligible due to the volume of water likely to be involved. The only time the increase in levels would be an issue in terms of displacement would be if a finite amount of water overtopped the defences and could then be displaced. There is no evidence to suggest the likelihood of a failure of the defences, or that if this occurred the volume of water would be sufficiently finite to affect the site and its immediate locality only. It is therefore considered that the flood risk element of the exceptions test is met.

9.32 The applicant is required to provide wider benefits to the community which outweighs the flood risk. This proposal now includes sustainable measures (both the use of SUD's, and grey water recycling). The proposal contends that it provides 23 Affordable dwellings which given the recent shortfall of provision, are considered to represent a gain to the wider community of Wisbech, as well as financial contributions towards health and education provision. These elements will be discussed further elsewhere in the report.

9.33 Overall, therefore, the proposal is considered to result in wider community benefits and to pass the Exceptions Test.

9.34 In summary, the FRA concludes that the probability of the development site flooding is low, and that the existing flood defences on the River Nene frontage provides the necessary 1 in 200 year tidal event protection that complies with the NPPF, and that any over topping in the next 100 years due to climate change would be very small and contained. Mitigation by providing finished floor levels at +4.75 ODN. and 500mm. of resilience will provide additional mitigation against an extreme flood event. All surface water runoff is contained on site by means of a Sustainable Urban Drainage System (SUDs). As regards the issue of Flood Risk the Flood Authorities do not object. The Environment Agency refer to the Council's Responsibility in Emergency Planning, and the Council's emergency planning officer was consulted and his comments are reported and considered. A planning condition is attached regarding the provision of a Flood Evacuation Plan. The Local Lead Flood Authority required further detailed Surface Water drainage Strategy details to overcome previous concerns, including that of the North Level IDB. This evidence has been provided and concluded that; *'the proposed development would not increase flood risk to the Site, its occupants and the surrounding existing properties.'* The LLFA considered the Surface Water Drainage Strategy and the SUDS scheme proposed is now considered in principle to be acceptable subject to the requested conditions attached to this report.

9.35 Therefore the proposal is considered to accord with paras 100-103 of the NPPF and Policy LP14 of the Fenland Local Plan (2014), and the requirements of the Flood and Water SPD.

Highway Safety

9.36 Both the County Council's Transport Assessment Team and the Development Control team have assessed the layout and the applicant's Transport Assessment, and has no objection, subject to conditions and necessary highway improvements. The TA Team accepts that the requirement for footway improvements to Burcroft Road is not essential and this is now omitted. The request for a Travel Plan, which itself will include travel packs and additional costs, whilst desirable, given the viability position are not considered essential, and are therefore omitted from the planning condition.

9.37 The TA team have also considered details in an objectors own traffic survey as detailed in the TA comments.

9.38 As the Local Highway Authority has vigorously assessed the applicant's proposals and has no objection the proposal is considered to accord with Paragraphs 34 – 37, and 39 of the NPPF and Policy LP15 of the Fenland Local Plan.

Affordable Housing

9.39 The applicant's layout provides 23 affordable units which represents 10.4% provision, and should ideally be a split of 70% affordable rent and 30% shared ownership. The total falls short of the Councils 25% required by Policy LP5. However, development in Fenland has struggled to achieve on-site affordable provision in recent years. The applicant has submitted a draft Section 106 agreement which include a number of 'opt-out' clauses should registered providers (RP's) fail to deliver, providing an off-site alternative. This is not considered to represent a robust approach to the delivery of affordable housing. Particularly given the balancing of the merits of the scheme and weight given to the provision of affordable housing both set against the loss of open agricultural land and the benefits required of the exceptions test. The applicant has therefore been requested to provide more robust evidence of delivery of affordable housing. This is considered entirely reasonable in light of the emphasis of the recent NPPF in terms of delivery.

Public Open Space/Footpath Provision

9.40 The application provides on-site open space, including a LEAP, which will therefore directly meet the needs of the development. This is situated within the Parish of Leverington and will serve the development, and potentially, the residents of adjoining residential areas. Footpath links to River Terrace, Mountbatten Drive and possibly Walsingham Close (depending upon land ownership issues), as well as enhancements to Footpath No 145/2 on the edge of the site are included and will be secured by and are considered to provide adequate linkages to the existing community.

9.41 It is not therefore considered necessary, or indeed viable, for the development to provide any contributions towards off-site open space.

Infrastructure Contributions

9.42 Overall, it is proposed that the development would deliver, in addition to affordable housing and public open space/footpath links, the following infrastructure contributions, to be secured through legal agreement:

- £5000 to CCC Highways for a contribution towards the revisions of the controller at the signals at the junction of the A1101 with the B1169 and Old Market/South Brinks. Provisions of highway improvements as requested by the TA Section (excluding Burcroft Rd and Travel Plans)
- An access point and a 2 metre wide hard surfaced footway linking the development to Mountbatten Drive
- Improvements (gravel surfacing) to the footpath adjacent to the site.
- Provision of on-site open space
- Provision of the LEAP prior to occupation of no more than 70 of dwellings,
- Provision of Sustainable Drainage
- £500,000 contribution for the needs of local education
- £82,018 The development would give rise to a need for improvements to capacity by way of extension, refurbishment, reconfiguration, or potential relocation at North Brink Practice;

9.43 The County Council requested a '50-50' split of the reduced infrastructure package following the viability assessments findings, as the 10.4% on site affordable housing provision equates to a proportionately greater figure than the £500,000 education contribution. However this is the applicant's proposal for contributions, and given the Local Planning Authority's significant under-provision of affordable housing a further reduction in this is not considered acceptable. In other respects the Infrastructure contributions are considered necessary, reasonable and reasonably related to the development in scale and kind, and therefore comply with the CIL Regulations.

Biodiversity

9.44 The Council's Ecology advisor has recommended conditions to be added which refer to the implications of site clearance. However, site clearance works (not the reshaping of land which is considered to be an engineering operation) does not constitute development and therefore does not itself require planning permission. Therefore such planning conditions are not enforceable and therefore unreasonable and do not pass the tests provided in the NPPF and cannot be added. Other recommended ecological conditions are attached. Protected species present are considered to be appropriately safeguarded and neither PCC Ecology nor Natural England objects. Therefore the proposal is considered to accord with Policy LP19.

Environmental

9.45 The Council's Environmental Health team have highlighted that there have been a number of issues around this site concerning unauthorised waste disposal matters. The development of the site would prevent these from occurring in future.

9.46 Due to the previous use of the site ground contamination modelling was requested before determination of the application. However given the proposals to raise the land level across the site it is considered that this matter may be adequately addressed through an appropriately worded condition.

Other Considerations

- 9.47 Objectors refer to overloaded Health Provision. In this instance the NHS have requested enhancements to the North Brink Practice and the applicant has agreed. Therefore, the development is considered to appropriately deal with this concern.
- 9.48 Objectors highlight that the site is not allocated. It is not a broad concept allocation, Other than the Broad concepts the Local Plan chose not to allocate sites. The fact that the site isn't an allocation is therefore not by itself a reason to refuse the application. The balancing of this provision against the delivery of the Broad concepts is considered above.

10. CONCLUSIONS

- 10.1 The proposal is a windfall development located outside but on the edge of Wisbech considered by the Council's Settlement Hierarchy to be a location where most growth will be accommodated. The site will result in the loss of some agricultural land, however the development is considered to represent an acceptable extension to the built form of Wisbech with no unacceptably adverse impact upon the wider countryside and would make a significant contribution towards the Districts housing stock in a location at the edge of one of the Primary Market Towns. In addition relationships with existing residential properties are considered to be acceptable, as is the risk of flooding on the site and highway safety implications arising from the development. Consequently, on balance, it is considered that the development is in accordance with national and local planning policy.

11. RECOMMENDATION:

Grant subject to:

- (i) **Prior completion of a Section 106 agreement with regard to:**
- **23 units for affordable housing on site;**
 - **£500,000 to Cambridgeshire County Council towards local Education enhancement;**
 - **Provision of Public Open Space and LEAP on site;**
 - **£82,018 extension, refurbishment, reconfiguration, or potential relocation at North Brink Practice (with any underspend being re-allocated towards affordable housing provision in the District);**
 - **Provision of off-site highway improvement works, including £5,000 financial contribution;**
 - **Provision of footpath improvements; and**
 - **Provision of SUDs**
- (ii) **Should the obligation referred to not be completed and the applicant is unwilling to agree to an extended period of determination after 4 months, or on the grounds that the applicant is unwilling to complete the obligation necessary the application be refused.**
- (iii) **Delegated authority be given to the Head of Planning to finalise appropriate planning conditions, although an indicative schedule is included below:**

1. The development permitted shall be begun before the expiration of 3 years from the date of this permission.

Reason: To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004.

2. Development shall not commence until a detailed surface water drainage scheme for the site, based on the agreed Drainage Strategy Report prepared by BHA Consulting (ref: 2979 Version 3) dated 22 November 2018 has been submitted to and approved in writing by the Local Planning Authority. The submitted details shall include a timetable for delivery of the scheme relative to the delivery of the development. The development shall thereafter be implemented in full accordance with the approved details.

Reason: To prevent the increased risk of flooding, to improve and protect water quality, and improve habitat and amenity.

3. Details for the long term maintenance arrangements for the surface water drainage system (including all SUDS features) to be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of any of the dwellings hereby permitted. The submitted details should identify runoff sub-catchments, SUDS components, control structures, flow routes and outfalls. In addition, the plan must clarify the access that is required to each surface water management component for maintenance purposes. The maintenance plan shall be carried out in full thereafter.

Reason: To ensure the satisfactory maintenance of drainage systems that are not publically adopted, in accordance with the requirements of paragraphs 163 and 165 of the National Planning Policy Framework

4. Prior to the first occupation of any dwellings hereby approved a Flood Warning and Evacuation Plan shall be submitted to and approved by the Local Planning Authority. The Approved scheme shall be issued to all occupants on first occupation. The content of such a plan is recommended to include:

- a. Site layout plan
- b. Detail the types of flooding the development is at risk from, the source of the potential flooding e.g. fluvial flooding, tidal flooding, surface water.
- c. Warning systems in place such as EA Floodline, Met Office Warnings.
- d. The frequency/probability of flooding, depth and estimated time from warning to onset of flooding.
- e. The developer should actively encourage owners/occupiers to sign up to the EA Floodline Warning Service and detail how this can be done.
- f. Include the Flood Warning Activation Procedures for Flood Alert, Flood Warning, Severe Flood Warning, Flood Warnings No Longer in Force. What the warnings mean and the EA recommended actions for each warning.
- g. Safe Refuge/ Safe Evacuation routes and locations.

Reason: To inform the future occupiers of Flood Warning and evacuation plans and in accordance with Policy LP14 of the Fenland Local Plan (2014).

5. Prior to the commencement of development above finished floor level a pedestrian access scheme shall be submitted to and approved by the Local Planning Authority. Such a scheme shall include provision for:
 - a. The design of public rights of way routes and their surfacing, widths, gradients, landscaping, signage and structures
 - b. Any proposals for diversion, closure or creation of public rights of way and alternative route provision.
 - c. Timetable for implementation

The development shall thereafter only be carried out in accordance with the approved details.

Reason: In the interests of the amenity and safety of the public.

6. Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) (England) Order 2015, (or any Order or Statutory Instrument revoking and re-enacting that Order) no fencing shall be erected on or within 0.5m of the public right of way on the north-eastern edge of the application site. In addition no tree planting shall take place within 2m of this right of way.

Reason: In the interests of the amenity of the public.

7. Before development commences the applicant should submit to the Local Planning Authority for approval in writing a Specialist Method Statement for the radiocarbon dating and analysis of sediments associated with a palaeochannel at Borehole 8, as reported in Archaeological Evaluation Report: Trial Trenching and Auger Survey on Land off Sutton Road, Leverington, Cambridgeshire, Allen Archaeology Ltd and The Environmental Archaeology Consultancy 2017 report ref AAL 2017155. ECB 5190. The Specialist Method Statement should be implemented and its findings reported on to the Local Planning Authority within 18 months of the date of its approval.

Reason: In the interest of full Archaeological assessment of the site in accordance with Policy LP18 of the Fenland Local Plan 2014.

8. All dwellings hereby approved shall have a finished floor level at 4.75m AOD, as shown on Site Layout Plan 5267/(P0_19, and flood resilience measures provided to 500mm above FFL in accordance with the Flood Risk Assessment submitted with the application.

Reason: In the interests of mitigation of flooding and in accordance with Policy LP14 of the Fenland Local Plan 2014.

9. Prior to the commencement of development above slab level a scheme and timetable for the provision of fire hydrants shall be submitted to, and agreed in writing by, the Local Planning Authority and provision of the fire hydrants shall thereafter be made in accordance with the scheme and timetable.

Reason: To ensure a satisfactory form of development.

10. Prior to commencement of development full details of both hard and soft landscape works shall be submitted to and approved in writing by the Local

Planning Authority. Subsequently, these works shall be carried out as approved and retained thereafter. The landscaping details to be submitted shall include:-

- a) Details of the tree belt on the northern edge of the site;
- b) Details of all tree planting indicated fronting;
- c) Tree planting on the central open space area;
- d) Details of tree planting on other areas of Public Open Space;
- e) Details of all other proposed tree planting for planting;
- f) Existing trees, hedges or other soft features to be retained;
- g) Any other planting plans, including specifications of species, sizes, planting centres number and percentage mix;
- h) Details of measures to protect and enhance existing flora, fauna and habitats within the development site;
- i) Measures to protect the trees to be retained on the southern boundary of the site for the duration of building works; and
- j) A timetable for the delivery of the scheme and measures outlined above; and
- k) A scheme for future management and maintenance of landscaping and planting within the site.

The development shall only be carried out in accordance with the agreed details.

Reason: The landscaping of this site is required in order to protect and enhance the existing visual character of the area and to reduce the visual and environmental impacts of the development hereby permitted in accordance with Policy LP16 of the Fenland Local Plan, 2014.

11. All hard and soft landscape works including any management and maintenance plan details, shall be carried out in accordance with the approved details. All planting seeding or turfing and soil preparation comprised in the above details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings, the completion of the development, or in agreed phases whichever is the sooner, and any plants which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased (except those contained in enclosed rear gardens to individual dwellings) shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation. All landscape works shall be carried out in accordance with the guidance contained in British Standards, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure proper implementation of the agreed landscape details in the interest of the amenity value of the development in accordance with Policy LP16 of the Fenland Local Plan 2014.

12. Before development above slab level commences details of the treatments to the external boundaries of the site shall be submitted to and agreed in writing by the Local Planning Authority. The agreed details shall be implemented before the first occupation of the dwelling to which they relate.

Reason: To safeguard the amenities of adjoining residents in accordance with Policy LP16 of the Fenland Local Plan.

13. Prior to the commencement of the development hereby approved full details of the materials to be used for the external walls and roofs shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be carried out in accordance with the approved details.

Reason: To safeguard the visual amenities of the area in accordance with Policy LP16 of the Fenland Local Plan, 2014.

14. Notwithstanding the drawings hereby approved, prior to commencement of Plot No's, 19, 60/61, 111/112, 113/114, 140, 196/7, 206,216 hereby referred to as Landmark properties, detailed design drawings indicating how these plots shall differ in appearance from neighbouring properties in order to increase legibility in urban design and create a 'sense of place', shall be submitted to and approved in writing to the Local Planning Authority. The development shall be carried out in accordance with the approved scheme.

Reason: In the interest of good design, legibility of the development and the creation of a sense of place in accordance with Policy LP16 of the Fenland Local Plan and Paragraph 127 of the NPPF.

15. Plots 2, and 57 hereby approved, as shown on plan ref 5267/(P)-10 Rev L, the first floor or roof light windows in the rear elevation of which shall only be glazed with obscure glass and so maintained in perpetuity thereafter.

Reason: To safeguard the amenities currently enjoyed by the occupants of adjoining dwellings.

16. No occupation of more than 70 dwellings shall take place before detailed design of the LEAP including details of play equipment, surface treatment and any safety fencing, and a timetable for provision on site and details of future maintenance and management, shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented before the occupation of 100 houses.

Reason: In the interests of provision of play facilities for occupiers of the development and to ensure satisfactory development in accordance with Policy LP16(g) of the Fenland Local Plan 2014.

17. Before development commences a scheme and timetable for the protection of mitigation of the impact on mammals, before, during and after construction, including relevant timetables, shall be submitted to and agreed in writing by the Local Planning Authority. The development shall only be carried out in accordance with the agreed details.

Reason: To provide biodiversity mitigation in line with the aims of the National Planning Policy Framework and Policy LP19 of the Fenland Local Plan 2014.

18. Before the first occupation of the development a scheme for the provision of bird nesting boxes across the site, including a timetable for delivery, shall be submitted to and agreed in writing by the Local Planning Authority. The development shall only be carried out in accordance with the agreed details.

Reason: To provide biodiversity mitigation in line with the aims of the National Planning Policy Framework and Policy LP19 of the Fenland Local Plan 2014.

19. No development shall take place until a construction management plan has been submitted to and been approved in writing by the Local Planning Authority. The approved plan/statement shall be adhered to throughout the construction period. The statement shall provide for:
- parking, loading and unloading of vehicles of site operatives and visitors;
 - routes for construction traffic;
 - hours of operation;
 - method of prevention of mud being carried onto highway.

Reason : To prevent harm being caused to the amenity of the area in accordance with the provisions of Policies LP2 and LP16 of the Fenland Local Plan, 2014.

20. Prior to the commencement of plots 119-122 (as shown on Drawing 5267/(P)_10 Rev L) of the development hereby approved, details of a turning head at the northern end of Horseshoe Terrace shall be submitted to and approved in writing by the Local Planning Authority. Details shall include;
- A minimum 5.0m wide carriageway.
 - 1.8m footway around the perimeter of the turning head.
 - Details of the how the existing Horseshoe Terrace turning head will be removed and footways laid out.
 - Turning head layout, geometry, kerbing, levels, drainage and methods of construction.
- The occupation of the development shall not begin until the above works have been completed in accordance with the plans approved by the Local Planning Authority.

Reason: In the interests of satisfactory access and turning along Horseshoe Terrace.

21. No development shall commence until details of the proposed arrangements for future management and maintenance of the proposed streets within the development have been submitted to and approved in writing by the Local Planning Authority in consultation with the Highway Authority. The streets shall thereafter be maintained in accordance with the approved management and maintenance details until such time as an Agreement has been entered into unto Section 38 of the Highways Act 198 or a Private Management and Maintenance Company has been established.

Reason: To ensure satisfactory development of the site and to ensure estate roads are managed and maintained thereafter to a suitable and safe standard.

22. No works shall commence on site until such time as detailed plans of the Roads, footways, foul and surface water drainage have been submitted to and approved in writing by the Local Planning Authority in consultation with the Highway Authority. All construction works shall be carried out in accordance with the approved plans.

Reason: To ensure satisfactory development of the site and a satisfactory standard of highway design and construction.

23. Prior to the first occupation of any dwelling the road(s), footway(s) and cycleway(s) shall be constructed to at least binder course surfacing level from the dwelling to the adjoining County road in accordance with the details approved in writing by the Local Planning Authority.

Reason: To ensure satisfactory development of the site and a satisfactory standard of highway design and construction.

24. Prior to the first occupation of any dwelling its associated car parking shall be laid out, demarcated, levelled, surfaced and drained in accordance with the approved plan and thereafter retained for that specific use.

Reason: To ensure the permanent availability of the parking / manoeuvring area, in the interests of highway safety.

25. Prior to occupation of development hereby permitted visibility splays of 2m x 2m shall be provided each side of the vehicular access measured from and along the back of the footway. Such splays shall thereafter be maintained free from obstruction exceeding 0.6m above the level of the footway.

Reason: In the interests of highway safety.

26. Prior to first occupation of the development hereby approved, visibility splays shall be provided as shown on the approved plan and shall be maintained thereafter free from any obstruction exceeding 0.6m above the level of the adjacent highway carriageway.

Reason: In the interests of highway safety.

27. Prior to the commencement of the development hereby approved a scheme and timetable to deal with contamination of land and/or groundwater shall be submitted to, and approved in writing by, the Local Planning Authority. The approved scheme and timetable shall then be implemented on site. The scheme shall include all of the following measures unless the Local Planning Authority dispenses with any such requirement specifically and in writing:

1. A desk-top study carried out by a competent person to identify and evaluate all potential sources and impacts of land and/or groundwater contamination relevant to the site. This should include a conceptual model, and pollutant linkage assessment for the site. Two full copies of the desk-top study and a non-technical summary shall be submitted to and approved in writing by the Local Planning Authority.

IF during development any previously unsuspected contamination is discovered then the LPA must be informed immediately. A contingency plan for this situation must be in place and submitted with the desk study. If a desk study indicates that further information will be required to grant permission then the applicant must provide, to the LPA:

2. A site investigation and recognised risk assessment carried out by a competent person, to fully and effectively characterise the nature and extent of any land and/or groundwater contamination, and its implications. The site investigation shall not be commenced until:

- (i) A desk-top study has been completed, satisfying the requirements of paragraph (1) above.
- (ii) The requirements of the Local Planning Authority for site investigations have been fully established, and
- (iii) The extent and methodology have been submitted to and approved in writing by the Local Planning Authority. Two full copies of a report on the completed site investigation shall be submitted to and approved in writing by the Local Planning Authority.

Following written LPA approval of the Site Investigation the LPA will require:

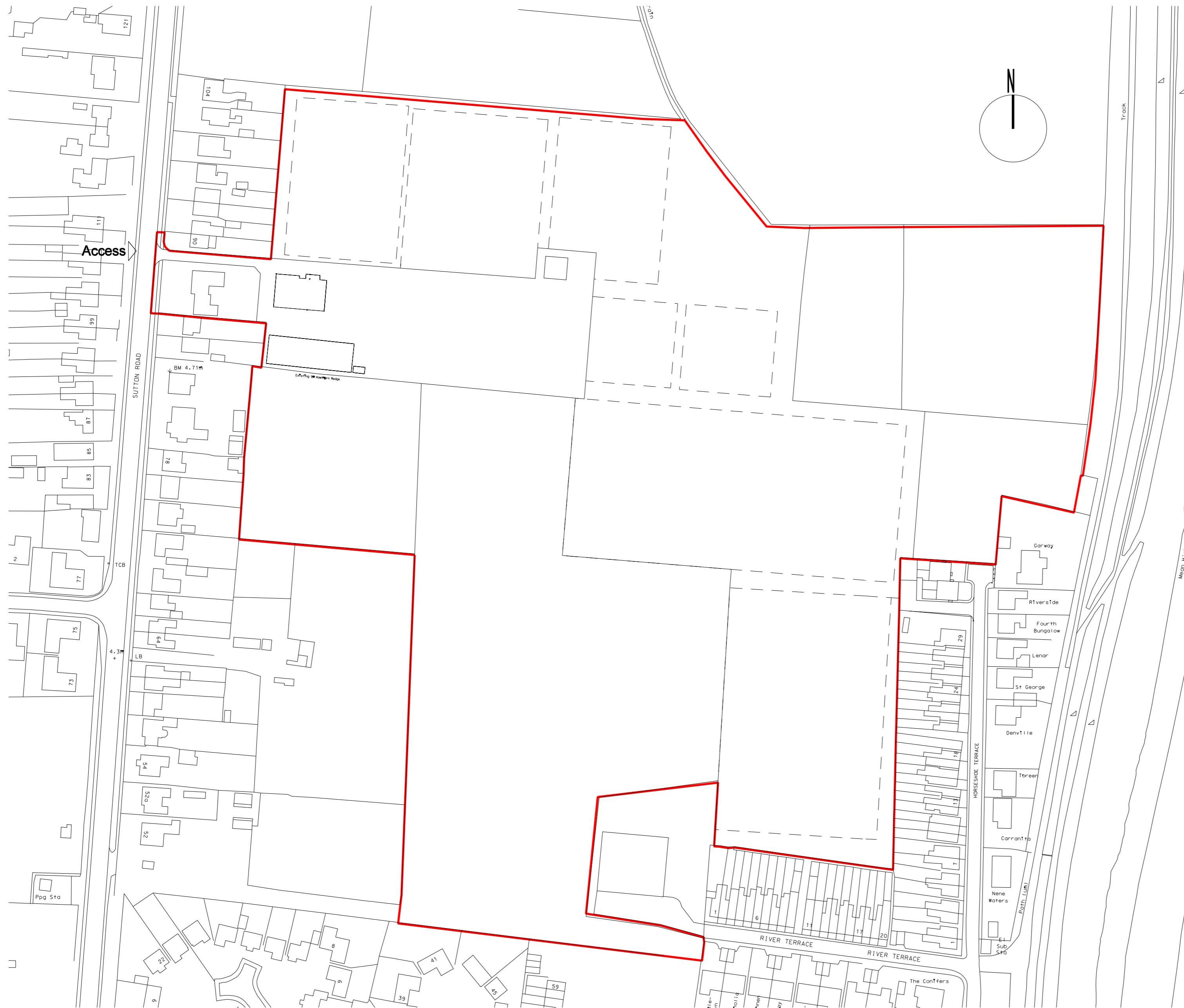
3. A written method statement for the remediation of land and/or groundwater contamination affecting the site. This shall be based upon the findings of the site investigation and results of the risk assessment. No deviation shall be made from this scheme without the express written agreement of the Local Planning Authority.

4. The provision of two full copies of a full completion report confirming the objectives, methods, results and conclusions of all remediation works, together with any requirements for longer-term monitoring and pollutant linkages, maintenance and arrangements for contingency action shall be submitted and approved in writing by the Local Planning Authority.

Reason: To control pollution of land or water in the interests of the environment and public safety in accordance with the National Planning Policy Framework, in particular paragraphs 178 and 179, and Policy LP16 of the Fenland Local Plan 2014.

28. The development shall only be carried out in accordance with the measures contained within the submitted Sustainability and Design Statement.

Reason: To maximise the sustainability benefits of the development to comply with the Cambridgeshire Flood and Water Supplementary Planning Document.



Peter Humphrey Associates
ARCHITECTURAL DESIGN AND BUILDING

PROJECT

Proposed Residential Development

SITE

Sutton Road
Wisbech
Cambridgeshire

DRAWING

Site Location Plan

CLIENT

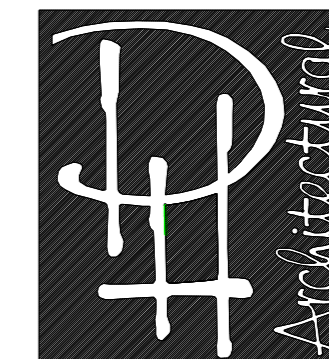
Mr C Delamore

DATE April 2015 SCALE 1:1250 @ A2 JOB No. 5267/(LOC) 01

REV.	DETAILS	DATE
A	OS Base Plan updated	Jan 2017

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Site OS Location Drawing (with Topographic Land Survey insert) Scale 1:1250



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31 OLD MARKET WISBECH CAMBS PE13 1NB



SCHEDULE OF NEW HOMES

AFFORDABLE	
A413-R - 1 Bedroom Affordable Two Storey Houses (413sqft) 76, 77, 78, 79	4
A659-R - 2 Bedroom Affordable Two Storey Houses (659sqft) 30, 31, 34, 35, 163, 164	6
A830-R - 3 Bedroom Affordable Two Storey Houses (830sqft) 36, 37, 198, 199, 200, 201	6
A1498-R - 4 Bedroom Affordable Two Storey Houses (1420sqft) 88	1
A659-SO - 2 Bedroom Affordable Two Storey Houses (659sqft) 32, 33, 196, 197	4
A830-SO - 3 Bedroom Affordable Two Storey Houses (830sqft) 161, 162,	2
Affordable Total	23
MARKET	
413 - 1 Bedroom Apartment (413sqft) 80, 81, 82, 83	4
1062 - 2 Bedroom Apartment (1062sqft) 57	1
659 - 2 Bedroom Two Storey Houses (659sqft) 6, 7, 8, 9, 11, 12, 13, 16, 17, 20, 27, 28, 29, 33, 42, 43, 48, 50, 51, 52, 53, 54, 62, 63, 66, 67, 95, 107, 108, 109, 113, 114, 123, 124, 132, 139, 146, 149, 150, 153, 169, 170, 171, 176, 187, 189, 192, 193, 204, 205	51
830 - 3 Bedroom Two Storey Houses (830sqft) 14, 15, 22, 23, 24, 25, 44, 45, 46, 47, 60, 61, 64, 65, 68, 69, 72, 73, 89, 90, 93, 94, 98, 99, 102, 103, 119, 120, 121, 122, 125, 126, 127, 128, 135, 136, 141, 142, 143, 155, 156, 159, 160, 165, 166, 167, 174, 175, 178, 179, 184, 185, 186, 187, 194, 195,	56
1001 (1001HIP) - 3 Bedroom Two Storey House (1001sqft) 1, 2, 3, 5, 21, 56, 59, 75, 84, 100, 104, 106, 134, 158, 163, 190, 202	17
1002 - 3 Bedroom 2 Storey House (1002sqft) 4, 10, 19, 26, 38, 49, 55, 58, 74, 85, 96, 101, 105, 110, 131, 140, 145, 154, 157, 168, 191, 203	22
1402 - 4 Bedroom Two Storey House (1402sqft) 40, 41, 70, 71, 86, 87, 91, 92, 111, 112, 115, 116, 117, 118, 129, 130, 133, 137, 138, 144, 147, 148, 151, 152, 172, 173, 181, 182, 206	29
1498 - 4 Bedroom Two Storey House (1498sqft) 18, 97, 180, 207	4
1520-2 - 4 Bedroom Two Storey House (2475sqft) 208, 209, 210, 211, 212, 213, 214, 215, 216, 217	10
1520-3 - 4 Bedroom Three Storey House (2800sqft) 218, 219, 220, 221	4
Market Dwellings	198
Total Dwellings	221

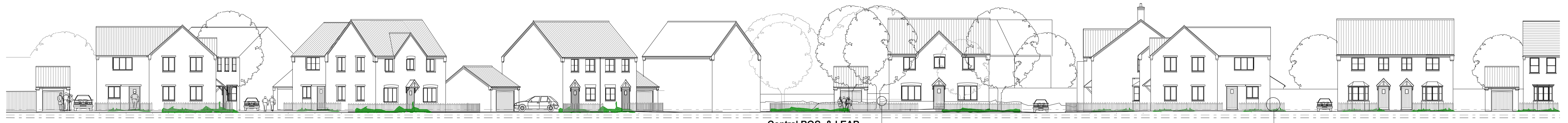
Peter Humphrey Associates
ARCHITECTURAL DESIGN AND BUILDING

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT
 SITE: LAND EAST OF SUTTON ROAD, WISBECH, CAMBRIDGESHIRE
 DRAWING: SITE LAYOUT PLAN & PHASING
 CLIENT: MILTON DEVELOPMENTS

REV	DETAILS	DATE
F	Amendment to increase width of private roads to 6.0m throughout and turning heads added where discussed	June 2018
G	Wildlife access corridor added along East boundary	August 2018
H	Accommodation Schedule - Affordable Market Revised	Oct 2018
J	Layout Revised to reflect latest planning comments	Oct 2018
K	Access arrangements to plots 208 - 221 revised and re-approved	Nov 2018
L	Amendment of plots 57-212 to include road details of plots 50 & 163 (removed) and additional section line (see details sheet)	Jan 2019

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Central POS & LEAP

Section A - A



'Cedar' Tegular Hydropave to Privat Drives



Hydropave Private Drive Surface and Kerb



Bow Top Safety Fencing around LEAP



Plot Frontage Bow Top fencing to POS Area



Central POS Upgraded Area



Bow Top Fencing around POS

Peter Humphrey Associates
ARCHITECTURAL DESIGN AND BUILDING

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT

SITE
LAND EAST OF SUTTON ROAD
WISBECH
CAMBRIDGESHIRE

DRAWING
CENTRAL AREA P.O.S DETAILING

CLIENT
MILTON DEVELOPMENTS

DATE OCT2018 SCALE 1:1250/200 @ AD JOB No. 5267/(P) 31

REV.	DETAILS	DATE

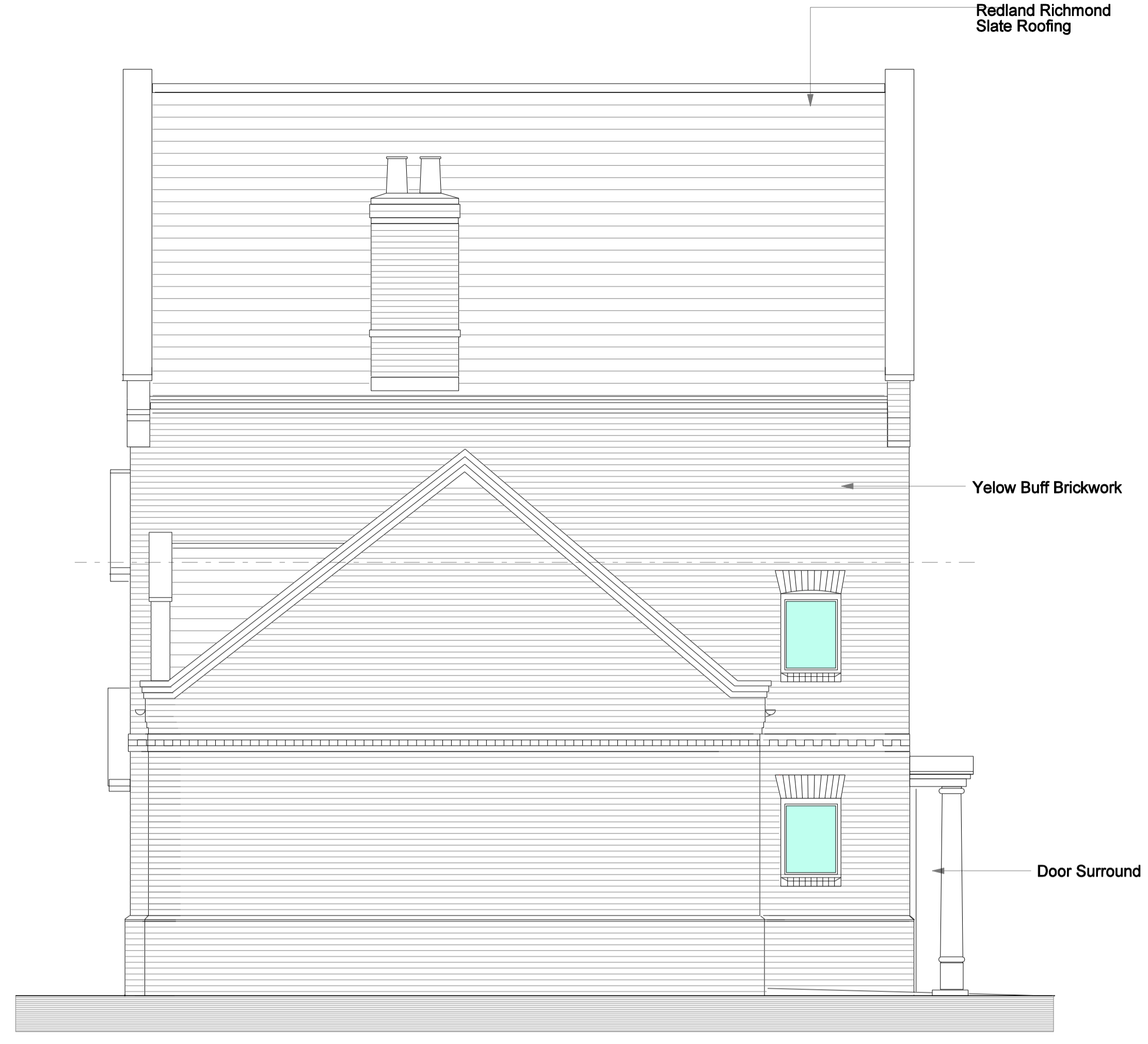
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31 OLD MARKET WISBECH CAMBS PE13 1NB

- Schedule of Finishes**
- Walls - Yellow Buff Brickwork Main Elevations
Contrasting Brick Lintels and Feature Panel
Dog Tooth brick detail to eaves
 - Roof - Red brown / Grey alternative Redland
Richmond 10 interlocking Roof Tiles
 - Windows - White UPVC Double Glazed Casements
 - Front Door - Stained Hardwood with Vision Panel
and Fanlight over.
 - Rainwater Good - Black UPVC Ogee Section



Front Elevation

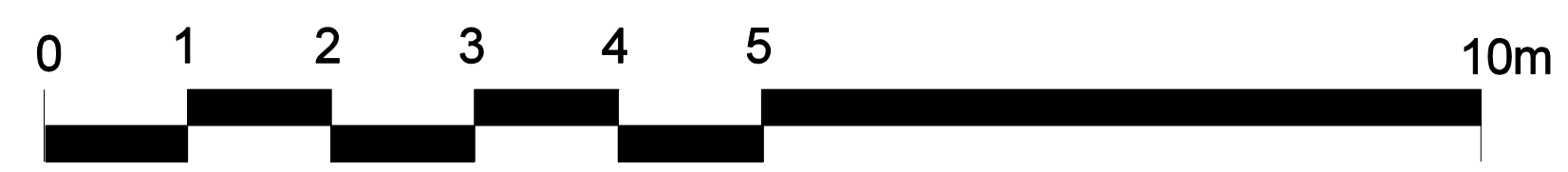


Side (Garage) Elevation



Rear Elevation

PLOT NO. HANDING
Plots 213, 214, 215, 216, 217, & 218 as drawn
Plots 224, 225, 226 & 227 handed



Side Elevation

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PROJECT
Proposed Residential Development

SITE
**Sutton Road, Wisbech
Cambridgeshire**

DRAWING
Horseshoe Terrace - House Type 1520-3

CLIENT
Milton Developments Ltd

DATE **Nov 2016** SCALE **1:50** JOB No. **5267(P) 15 A**

REV.	DETAILS	DATE
A	Elevations updated for planning	Jan 2017

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LOCATED ON PLOTS

81, 82, 83, 84, 85, 86, 87 & 88



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION

SIDE ELEVATION

Schedule of Finishes

Walls - Yellow Buff Brickwork Main Elevations
Contrasting Brick Lintels and Feature Panel
Dog Tooth brick detail to eaves

Roof - Red brown / Grey alternative Redland
Richmond 10 interlocking Roof Tiles

Windows - White UPVC Double Glazed Side Hung Casements

Front Door - Stained Hardwood with Vision Panel

Rainwater Good - Black UPVC Square Section

16/01/2017 - Amended to show whole building layout. REV A.



PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT AT:

Site

SUTTON ROAD
WISBECH
CAMBRIDGESHIRE

DRAWING

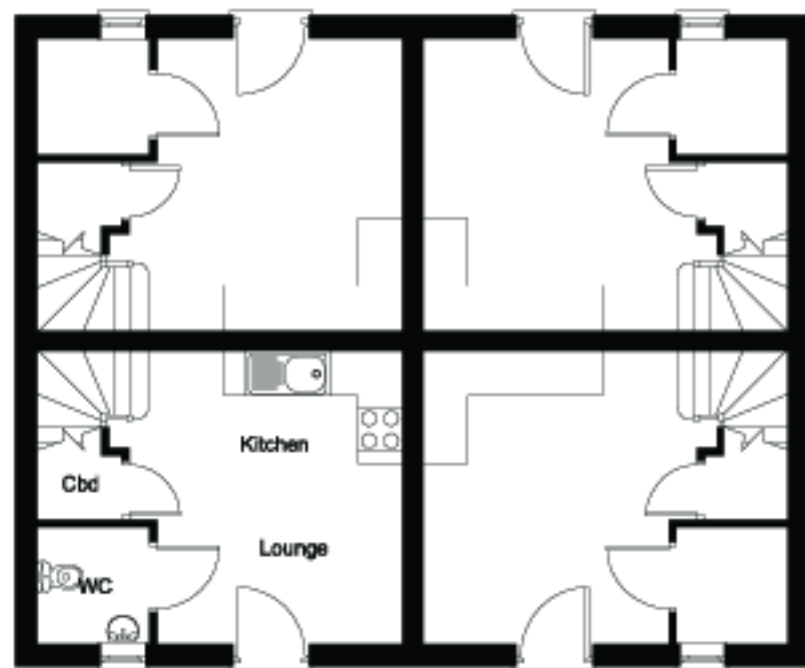
A413 - FLOOR PLANS & ELEVATIONS

CLIENT

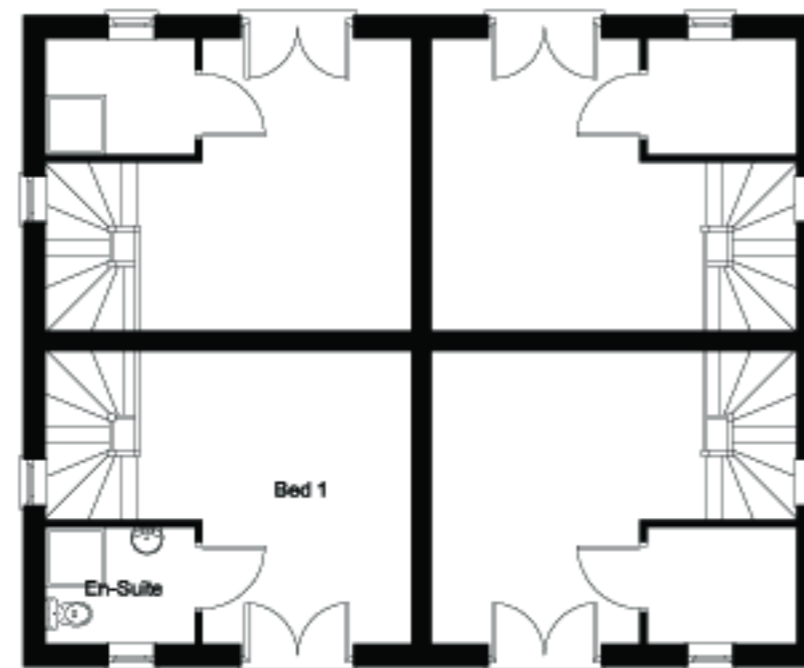
Milton Developments

DATE Jan 2017 SCALE 1:50, 1:100 JOB No. 5267/A413

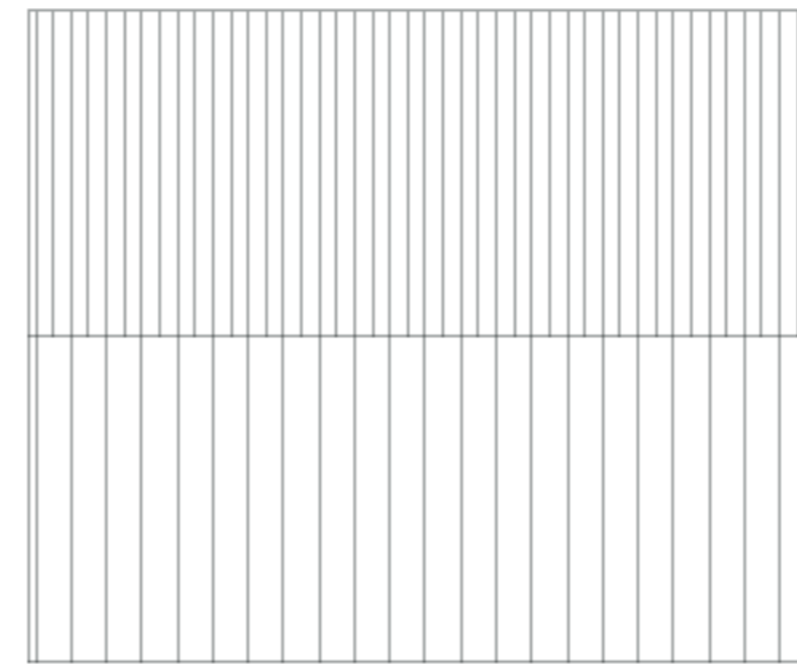
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GROUND FLOOR PLAN



FIRST FLOOR PLAN



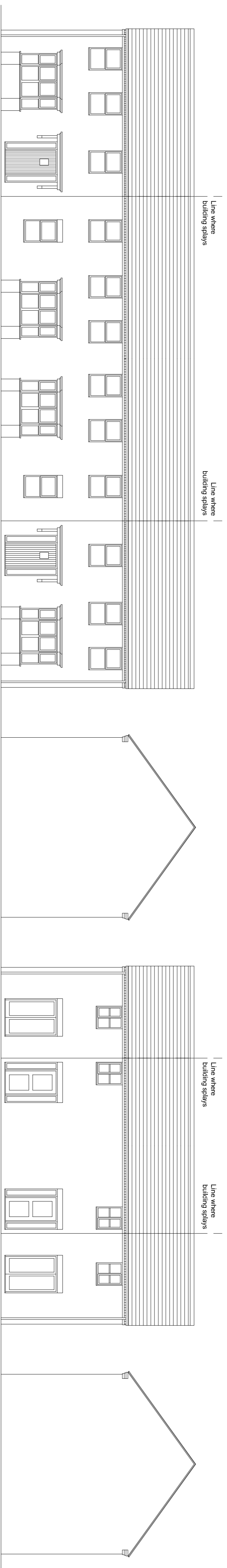
ROOF PLAN



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30 OLD MARKET WISBECH CAMBS PE13 1NB

Fairford District Council
Building Design Awards
Skillful Builders in the Field
Category Winner 05 & 03

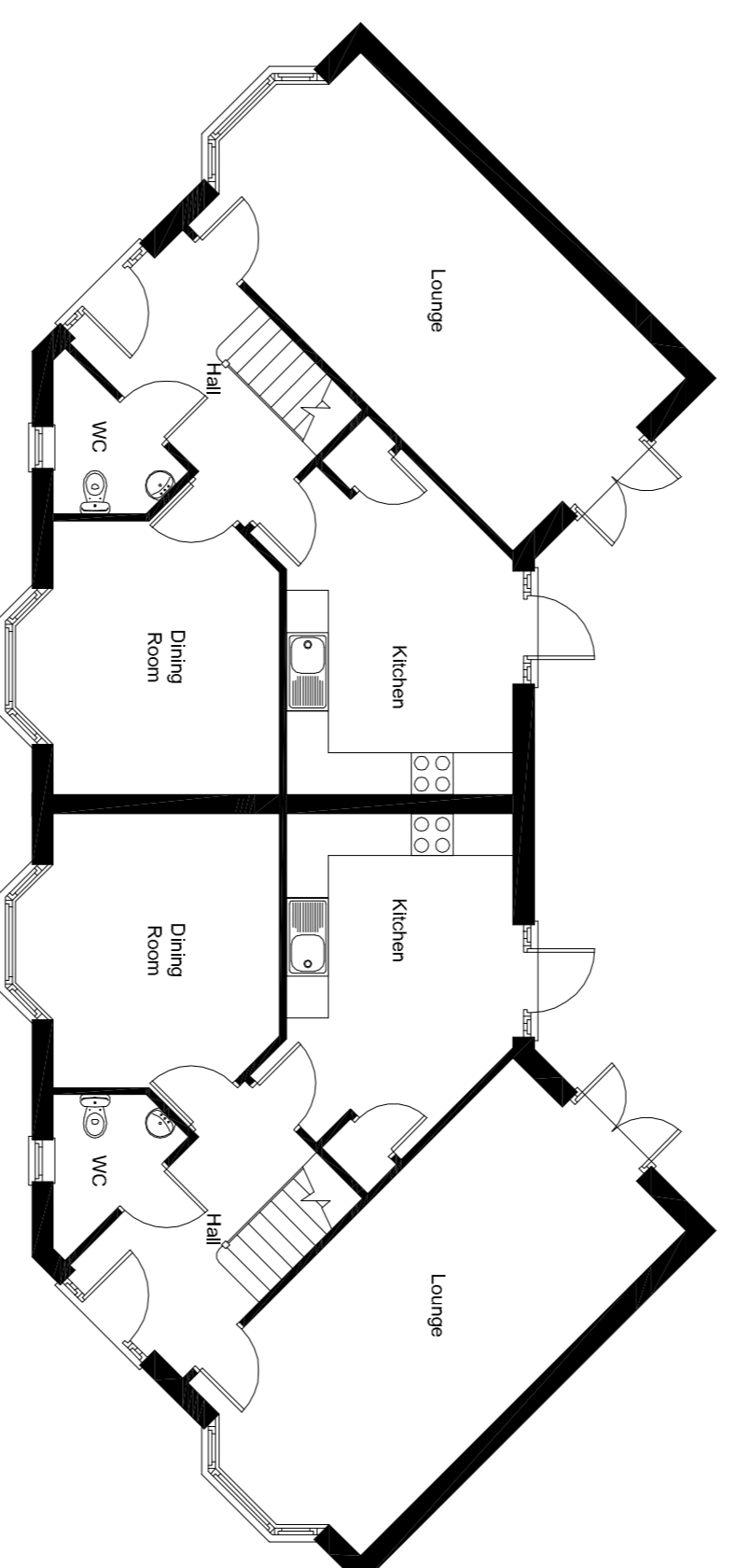


FRONT ELEVATION

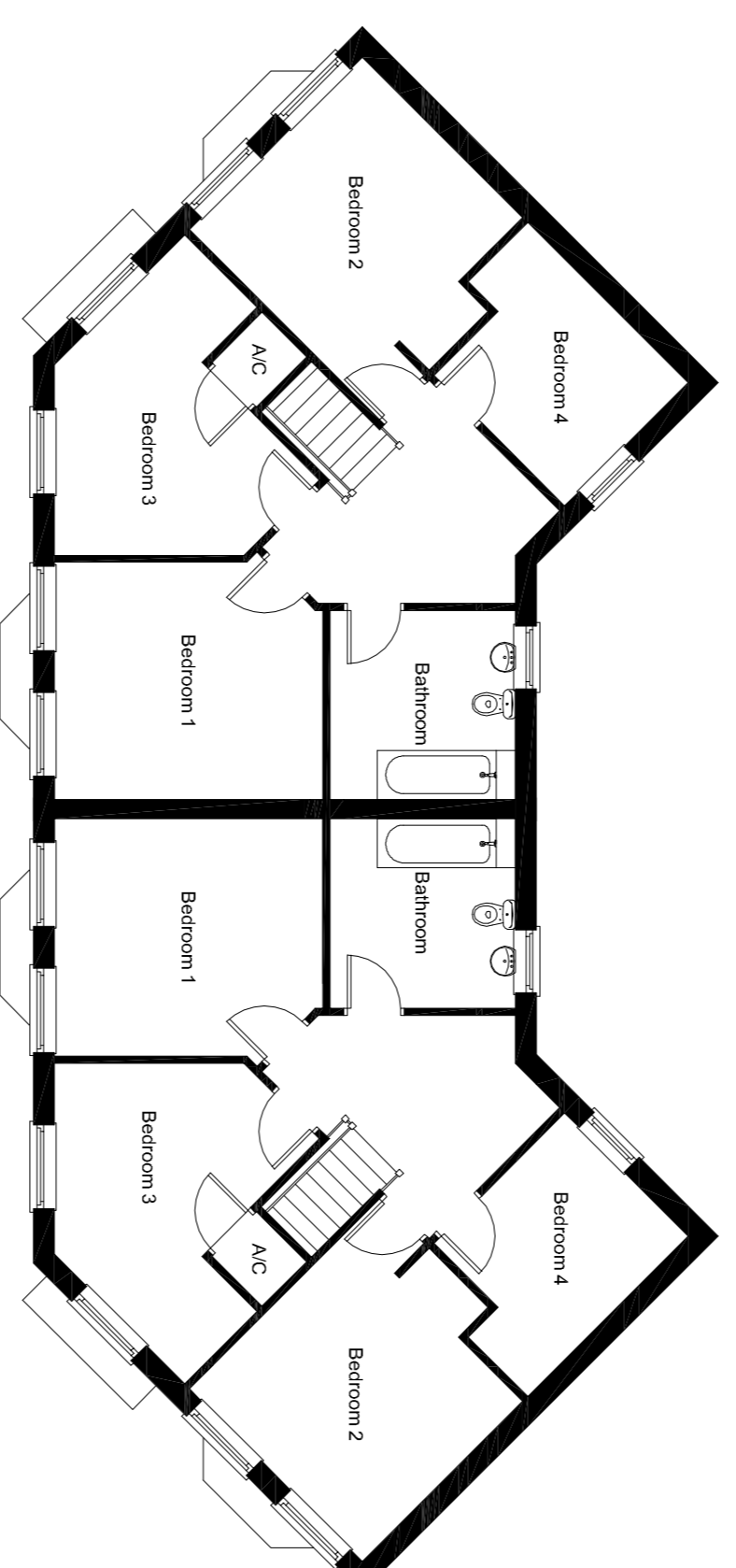
SIDE ELEVATION

REAR ELEVATION

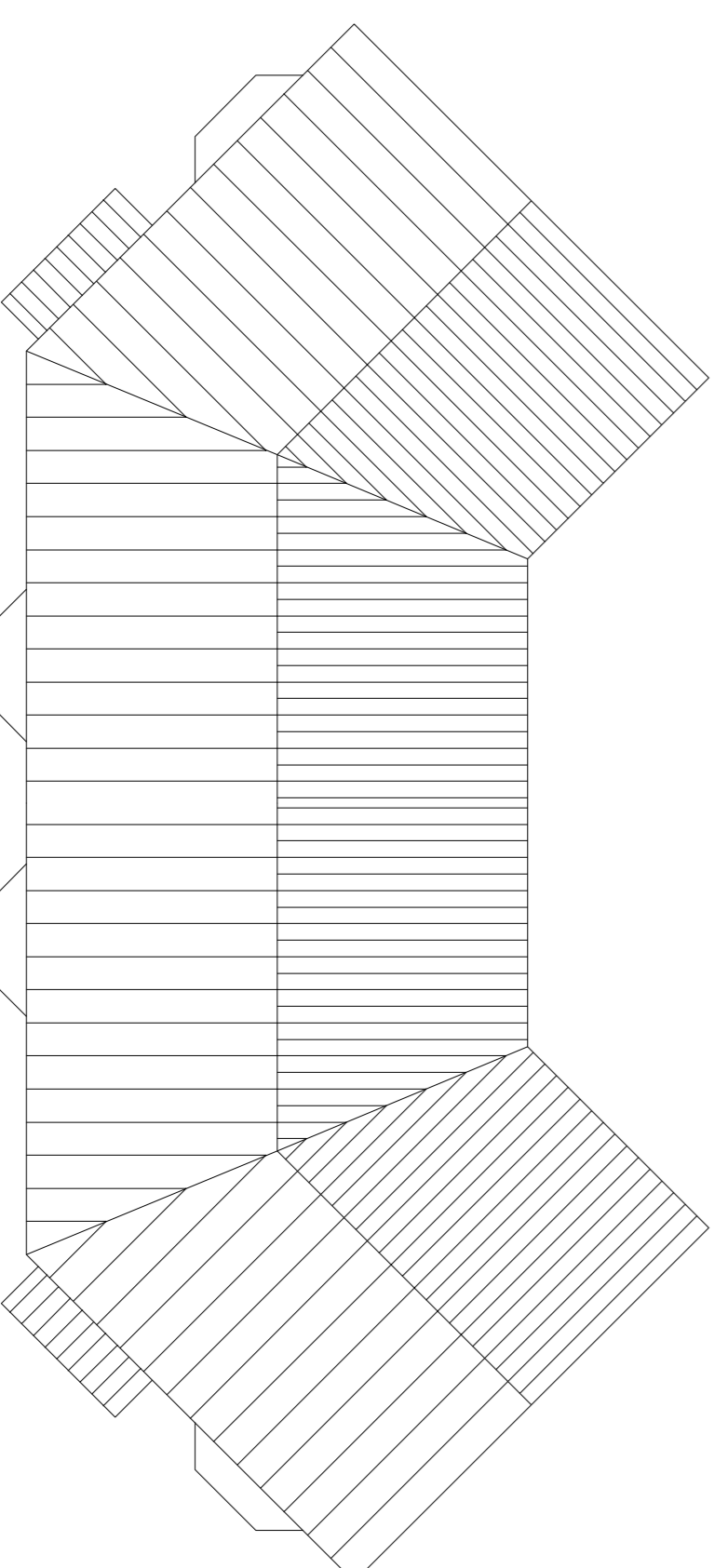
SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN

Peter Humphrey Associates
ARCHITECTURAL DESIGN AND BUILDING

17/01/2017 - Elevations changed to flattened. REV A.

PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT AT:

SUTTON ROAD
WISBECH
CAMBRIDGESHIRE

DRAWINGS
A1402-R FLOOR PLANS & ELEVATIONS
AS PLOTS - 102, 103

CLIENT

Milton Developments

DATE Jan 2017 SCALE 1:100 JOB No. 5267/A1402-R

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